

	BARRIER CURB & GUTTER C/W WALK
	ROLLED CURB & GUTTER C/W WALK
	BARRIER CURB & GUTTER
	ROLLED CURB & GUTTER
	ORIGINAL CONTOURS
	BURIED SASKPOWER LINE
	BURIED SASKENERGY LINE
	BURIED TELCOMMUNICATIONS LINE
	SASKPOWER TRANSFORMER
	SASKPOWER PEDESTAL
	SASKTEL PEDESTAL
	CATV PEDESTAL
	CATCHBASIN/WMHOLE
	CATCHBASIN
	FIRE HYDRANT
	POST TOP STREET LIGHT
	COBRA HEAD STREET LIGHT
	SUPER MAIL BOX
	HIGH POINT
	PROPOSED SERVICE LOCATION
	EXISTING SANITARY SERVICE TEE LOCATION
	HIGH POINT
	SERVICE STUBBED 3.00m INTO PROPERTY

1. ALL MATERIALS AND CONSTRUCTION TO COMPLY WITH CURRENT CITY OF REGINA STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS.
2. ADD 500m FOR GEODETIC ELEVATION.

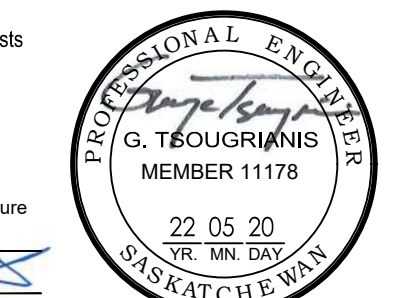
1	UPDATE ADDRESSING BLK 39 AND 44	MS	GT	22.05.20
Revision		By	Appd.	YY.MM.DD

A	FOR APPROVAL	BP	GT	22.04.18
Issued		By	Appd.	YY.MM.DD

File Name:	phase_2-4-c-2_grading	MD	MS	BP	21.11.10
		Dwn.	Chkd.	Dgn.	YY.MM.DD

Association of Professional Engineers & Geoscientists of Saskatchewan
CERTIFICATE OF AUTHORIZATION
STANTEC CONSULTING LTD.

Number: C0969
Permission to Consult held by:
Discipline: CIVIL
Sk. Reg. No.: 25693



Client/Project
TERRA DEVELOPMENTS INC.
THE TOWNS
PHASE 2 - STAGE 4
SITE SERVICES
Regina, Saskatchewan

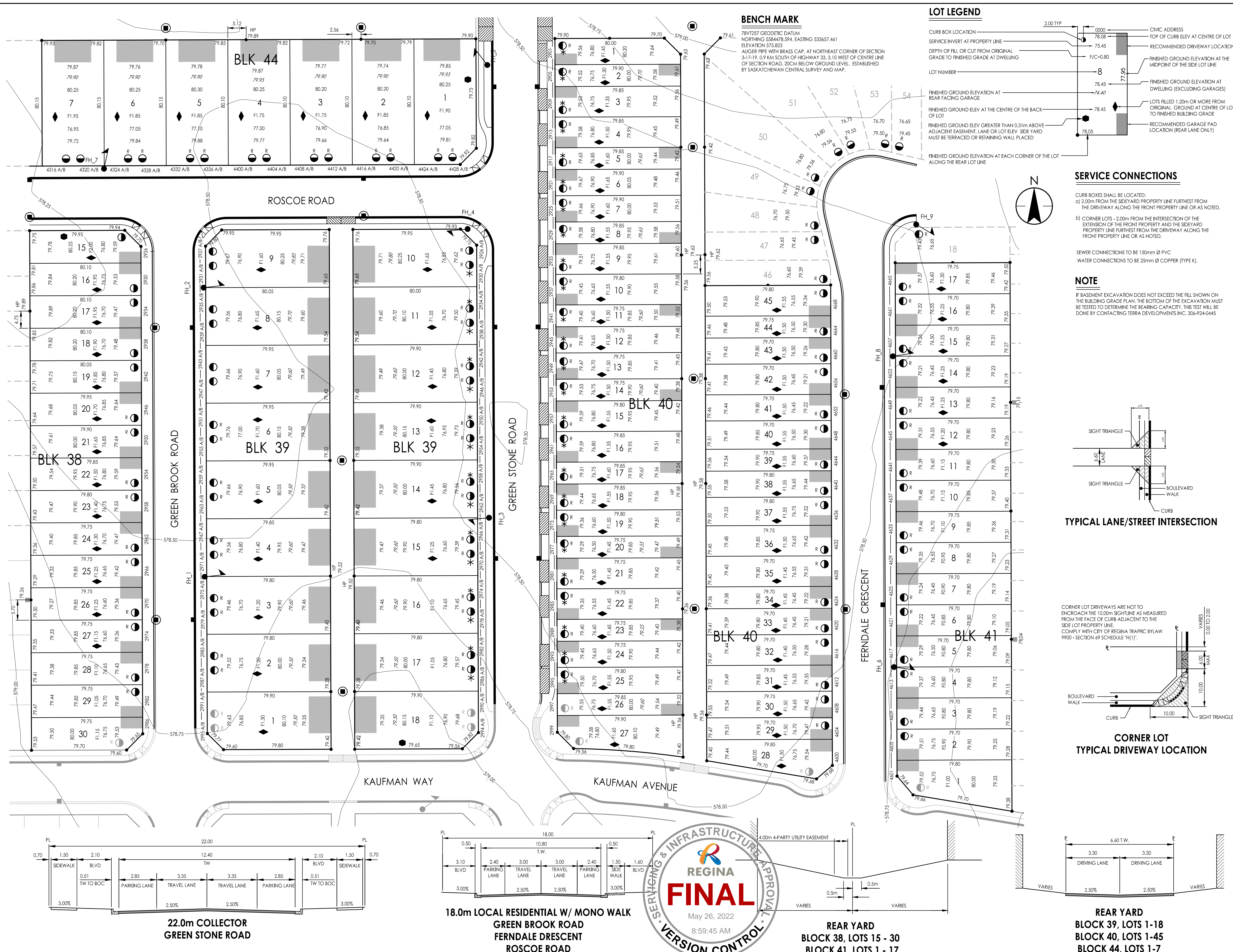
Title
LOT GRADING

Project No.
1110-00444

Revision 1 Sheet 2 of 12

Scale
0 5 15 25m

Drawing No. C-2



BENCH MARK

78V1257 GEODETIC DATUM
NORTHING 5584478.594, EASTING 533657.461
ELEVATION 575.823
ALIGER PIPE WITH BRASS CAP. AT NORTHEAST CORNER OF SECTION 9-17-19, 0.9 KM SOUTH OF HIGHWAY 33, 3.10 WEST OF CENTRE LINE OF SECTION ROAD, 20CM BELOW GROUND LEVEL. ESTABLISHED BY SASKATCHEWAN CENTRAL SURVEY AND MAP.

LOT LEGEND

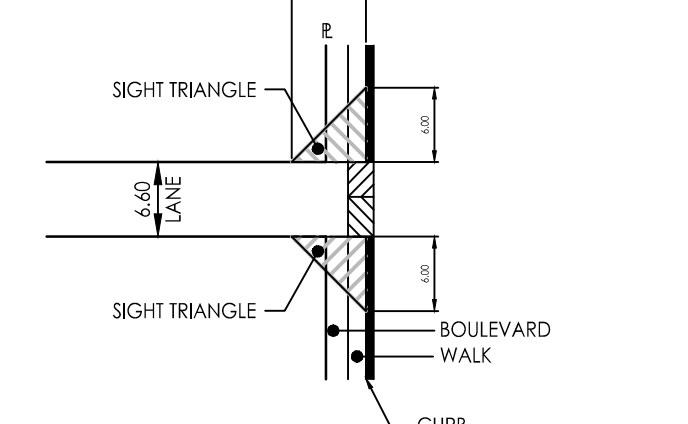
- CURB BOX LOCATION
- SERVICE INVERT AT PROPERTY LINE
- DEPTH OF FILL OR CUT FROM ORIGINAL GRADE TO FINISHED GRADE AT DWELLING
- LOT NUMBER
- FINISHED GROUND ELEVATION AT REAR FACING GARAGE
- FINISHED GROUND ELEV AT THE CENTRE OF THE BACK OF LOT
- FINISHED GROUND ELEV GREATER THAN 0.31m ABOVE ADJACENT EASEMENT, LANE OR LOT ELEV. SIDE YARD MUST BE TERRACED OR RETAINING WALL PLACED
- FINISHED GROUND ELEVATION AT EACH CORNER OF THE LOT ALONG THE REAR LOT LINE
- CIVIC ADDRESS
- TOP OF CURB ELEV AT CENTRE OF LOT
- RECOMMENDED DRIVEWAY LOCATION
- F/C=0.80
- FINISHED GROUND ELEVATION AT THE MIDPOINT OF THE SIDE LOT LINE
- FINISHED GROUND ELEVATION AT DWELLING (EXCLUDING GARAGES)
- LOTS FILLED 1.20m OR MORE FROM ORIGINAL GROUND AT CENTRE OF LOT TO FINISHED BUILDING GRADE
- RECOMMENDED GARAGE PAD LOCATION (REAR LANE ONLY)

SERVICE CONNECTIONS

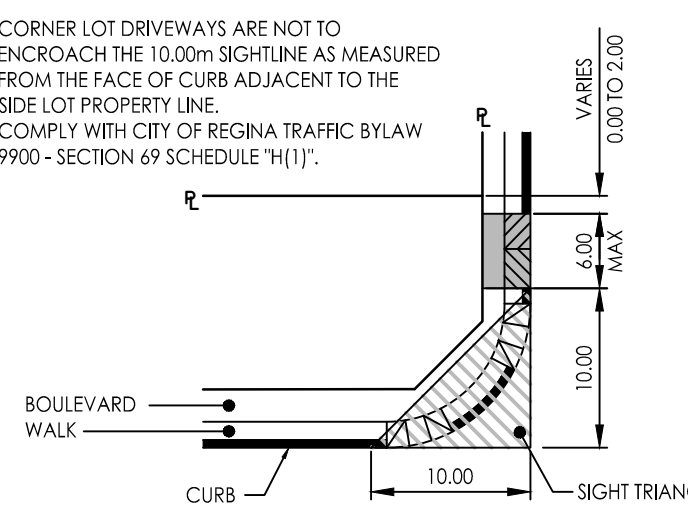
- CURB BOXES SHALL BE LOCATED:
 - a) 2.00m FROM THE SIDEYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE OR AS NOTED.
 - b) CORNER LOTS - 2.00m FROM THE INTERSECTION OF THE EXTENSION OF THE FRONT PROPERTY AND THE SIDEYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE OR AS NOTED.
- SEWER CONNECTIONS TO BE 150mm Ø PVC
- WATER CONNECTIONS TO BE 25mm Ø COPPER (TYPE K).

NOTE

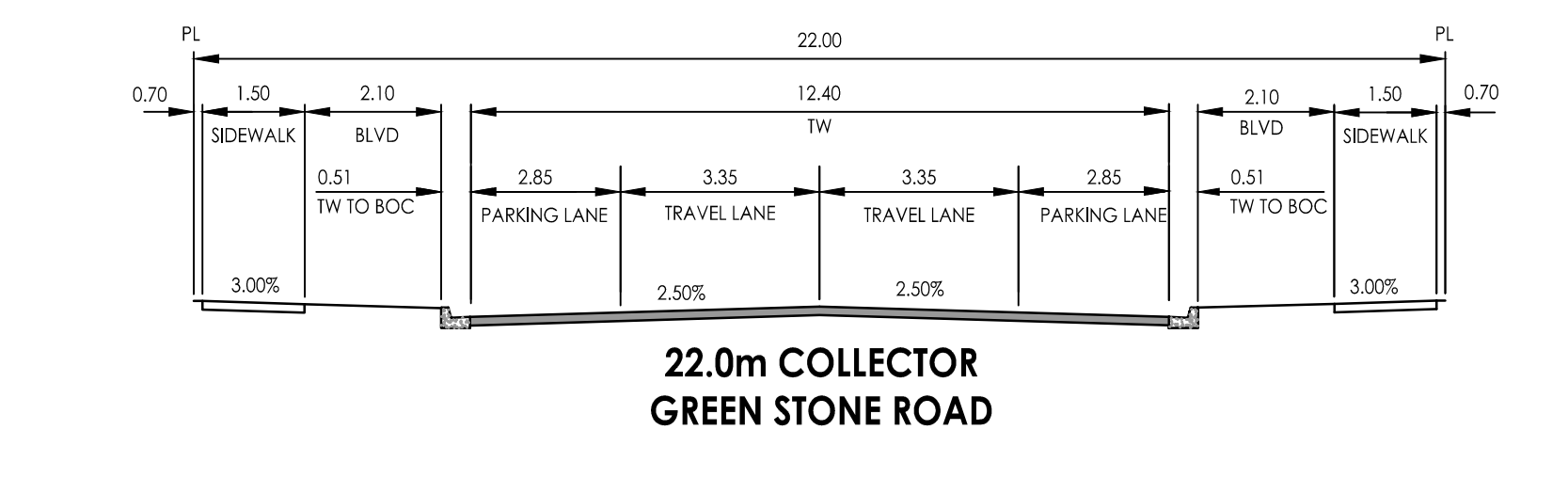
IF BASEMENT EXCAVATION DOES NOT EXCEED THE FILL SHOWN ON THE BUILDING GRADE PLAN, THE BOTTOM OF THE EXCAVATION MUST BE TESTED TO DETERMINE THE BEARING CAPACITY. THIS TEST WILL BE DONE BY CONTACTING TERRA DEVELOPMENTS INC. 306-924-0445



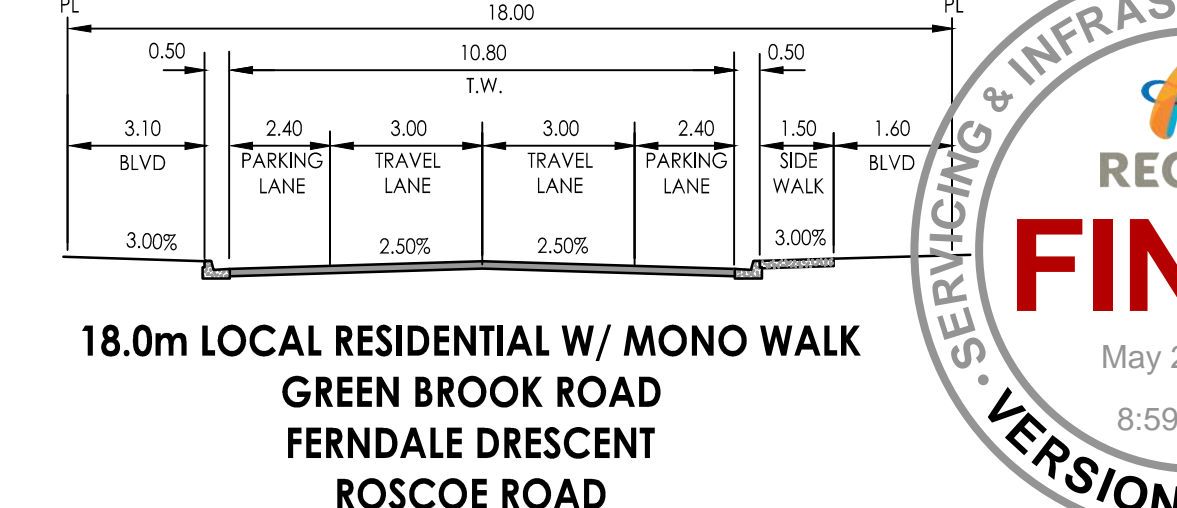
TYPICAL LANE/STREET INTERSECTION



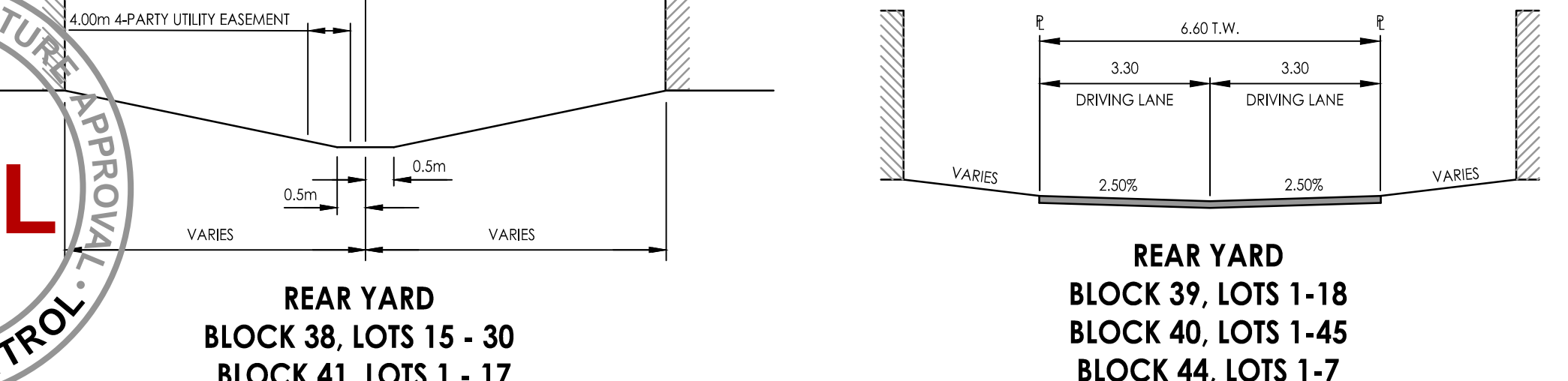
CORNER LOT TYPICAL DRIVEWAY LOCATION



22.0m COLLECTOR GREEN STONE ROAD



18.0m LOCAL RESIDENTIAL W/ MONO WALK GREEN BROOK ROAD FERNDALE DRESCENT ROSCOE ROAD



REAR YARD BLOCK 39, LOTS 1-18 BLOCK 40, LOTS 1-45 BLOCK 41, LOTS 1-17

