



**The Towns Builders Guidelines
Manual**

Builders Guidelines Manual (Revision 2)

December 7, 2020



Prepared for:

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Revision	Description	Author		Quality Check		Independent Review	
0	Original	NK		KC		BP	<i>BP</i>
1	Revised	NK/GT		BP	<i>BP</i>	KK	
2	Revised	GT		BP	<i>BP</i>	BW	<i>BW</i>

THE TOWNS BUILDERS GUIDELINES MANUAL

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Reviewed by Brad Wilson
(signature)

Brad Wilson

Reviewed by Brian Parks Type text here
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Brian Parks

Approved by George Tsougrianis
(signature)

George Tsougrianis



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1.0 BACKGROUND AND SCOPE

In an effort to reduce damages to infrastructure in The Towns, Terra Developments Inc. (“Terra”), with input from the City of Regina, has developed guidelines with Stantec Consulting Ltd. and Keith Construction & Safety Management (“KCSM”), who will ultimately coordinate/manage these guidelines. The purpose of the Builders Guidelines Manual is to assist builders and their sub trades to construct their new homes in an overall better organized and safer working environment. It will also help reduce damage to landscaping, new sidewalks, curbs and streets, as the cost of these repairs impacts the cost of new lots.

The benefits for Builders will be:

- Cleaner building sites, which complies with City of Regina bylaws
- Safer and more organized job sites
- An inviting community, showcasing product to potential buyers
- Minimizing future increases to parcel and lot prices
- Waste management
- Show home signage
- Reduction in subdivision damages

Terra has identified a number of items which will require regular inspection and monitoring as pertaining to the concerns noted above. To aid with this operation, this Builders Guidelines Manual (“The Manual”) has been created for reference by all Builders in The Towns. The Manual identifies specific guidelines to adhere to and outlines the responsibilities of each Builder.

Builder responsibilities include:

- Compliance with the guidelines set forth in this document
- Communication with KCSM regarding issues related to these guidelines

KCSM responsibilities include:

- Observation, assessment, and reporting of Builder damage to the surrounding infrastructure
- Communicating problem areas with respective Builders
- Filing monthly summaries of Builder activity including building status, Builder infractions, photographs, maps, and report to Terra

Stantec responsibilities include:

- Supporting KCSM in builder coordination during construction of undergrounds, roadways and landscaping
- Coordinating effort on repairs/damages to existing infrastructure
- Curb box location support to Builders



THE TOWNS ON THE GREENS BUILDERS GUIDELINES MANUAL

A description of the subdivision standards are defined in the following document. Reference information is also provided in Appendix A, as follows:

- Detail A.1 – Concrete Truck Washout Station Detail
- Detail A.2 – Construction Crossing Details
- Detail A.3 – Concrete Washout & Clean Fill Dumpsite Locations
- Detail A.4 – Water & Sewer Connections Memo
- Detail A.5 – Tree Planting Program Information

2.0 CONSTRUCTION CROSSINGS

Streets, curbs and sidewalks will be protected by construction crossings, which are to be constructed and maintained by the Builder. Crossings are to be removed and cleaned up immediately after they are no longer required. KCSM to coordinate where construction equipment may access lots during the various stages of construction (see: Appendix A: Detail A.2 – Construction Crossing Details).

Builder responsibilities include:

- Construction, maintenance and removal of the crossing
- Satisfactory cleaning of the street, curb and sidewalk when the crossing is removed

3.0 BUILDING MATERIALS

Building materials may be placed only on the Builder's private property of the lot. Materials may not be placed on the streets, curbs, sidewalks, boulevards, or other private property without approval from Terra and coordinated with KCSM. Builders should strive to only have those materials on site that are required in the interim and maintain their sites for cleanliness and organization.

Builder responsibilities include:

- Keeping all materials within the property lines of the home being built.

4.0 WASTE MANAGEMENT

Builders are responsible for keeping their lots free of construction debris and overgrown vegetation. Terra will be providing large community garbage bins strategically located within The Towns. These bins will be placed on the street in a convenient proximity of the lots they are to service. These bins will be managed by KCSM and a waste management company will empty these community bins twice weekly on specific days (i.e. Mondays and Wednesdays). By organizing the bins, more room will be available for parking and deliveries and the surrounding infrastructure will be better protected. In addition, Builders are encouraged to place recycling bins and recycle their own materials where possible.



Builder responsibilities include:

- Using garbage bins provided by Terra for waste management; bins are not to be moved
- Recycle bins (if used) must be located within the property lines of the home being constructed
- Ensure trades utilize bins; improper disposal of any material is unacceptable
- Ensure trades do not park trailers or vehicles in front of the 30-yard bins

5.0 STREET SWEEPING AND CLEANLINESS

Street sweeping and cleanliness is the responsibility of the Builder. Mud tracking or placement of aggregate or other materials on property, other than the respective Builder's property, is unacceptable. Terra will conduct street cleaning in more populated areas of the subdivision approximately once per month, or as needed, as a service to residents of the community.

Builder responsibilities include:

- Keeping the streets, curbs, sidewalks, boulevards, and alleys in the front and rear of their properties clean and clear of dirt, mud, waste concrete and/or aggregate

6.0 WATER CURB BOX REPAIR

Both the coordination of water curb box repair and the costs associated with the repair are the responsibility of the Builder. Should repair or replacement of the curb stop valve be required, Stantec will coordinate this work.

Builder responsibilities include:

- Protecting the curb box from damage at all times
- Contacting Stantec if the curb stop requires repair
- Review attached memo for water & sewer connections

7.0 SUBDIVISION FENCING

Subdivision fencing along the perimeter of the subdivision (Concrete) or along Park/Walkways (Metal/PVC) is not to be altered without written approval from Terra. KCSM will coordinate the repair of any Builder damage to subdivision fencing. These repair costs will be the Builder's responsibility.

Builder responsibilities include:

- Builders requiring temporary removal of subdivision fencing must have written approval from Terra. All costs associated with the removal and replacement of subdivision fencing will be the Builder's responsibility.



- Builders are encouraged to report any damage to fencing to Terra immediately.

8.0 LANDSCAPE CROSSINGS

Landscaped areas may not be crossed without prior written approval from Stantec. Stantec will coordinate the repair of any Builder damage to subdivision landscaping; these repair costs will be the Builder's responsibility.

Builder responsibilities include:

- Builders requiring access to cross landscaped areas must receive written approval as outlined above prior to crossing.
- Pipeline Right of Ways may not be used by Builders without attaining the necessary permit or agreements from the appropriate pipeline company.
- Maintenance of the landscaped boulevard in front of your lot is the responsibility of the builder until the home is owner occupied.

9.0 CONCRETE WASHOUT AREAS

Concrete Truck Washout Stations will be provided and maintained by Terra within The Towns. Dumping materials other than concrete at these stations is not permitted. Stantec will provide a site map displaying all Concrete Truck Washout Station locations (see: Appendix A: Detail A.1 – Concrete Truck Washout Detail).

Builder responsibilities include:

- Ensuring that excess concrete from their site either leaves the subdivision or is deposited at a designated Concrete Truck Washout Station.
- While pump trucks are permitted to washout on the Builder's property, the Builder is responsible for moving the pump truck concrete washout to a designated Concrete Truck Washout Station.

10.0 CLEAN FILL DUMP SITE

Terra has fenced off a designated area for clean fill only for Builders within the Towns Lands to place material to be used at a later date for backfilling of basement excavation or lot grading (see: Appendix A: Detail A.3 – Concrete Washout & Clean Fill Dumpsite Locations). Dumping material other than clean fill in this area is not permitted. Stantec will provide a map displaying the location of the Clean Fill Dump Site.

Builder responsibilities include:



- Ensure only clean fill is being relocated to the designated dump site and material is placed in a manner to allow access around the inside of the perimeter fence to allow for easy placement and removal of clean fill.
- Builders are to coordinate the placement and removal of clean fill with their sub-trades.
- If there are any issues with regards to the clean fill dump site, please coordinate this with KCSM.

11.0 HEAVY EQUIPMENT

Equipment with steel tracks are not permitted to travel on asphalt streets, alleys, or pathways without proper asphalt protection, such as rubber tire matting. The use of equipment with rubberized tracks or tires is preferred.

Builder responsibilities include:

- Ensuring Builders and sub-trades take all necessary precautions to protect the streets, curbs, sidewalks, boulevards, alleys and pathways when steel-tracked equipment is being operated or transported

12.0 EXPOSED AGGREGATE DRIVEWAYS AND WALKS

When constructing exposed aggregate driveways and/or walkways, the Builder is responsible for installing a trap within the concrete gutter on the street to prevent the concrete wash from entering the subdivision's storm sewer system. It is not acceptable to flush material or debris into the City of Regina Storm Sewer system, as per bylaw (Bylaw 2016-24). Builders are also responsible for removing the concrete wash by hand without damage to the street, curb, gutter, or sidewalk.

Builder responsibilities include:

- Notifying KCSM if the driveway will be exposed aggregate
- Erecting controls to mitigate concrete wash from entering the storm sewer system, prior to pouring. Mitigation controls to be reviewed by KCSM
- Ensuring their concrete wash is not left on streets, curbs, gutters, sidewalks, boulevards, alleys, or pathways

13.0 EMPTY LOTS

Empty lots may not be used as storage areas for building materials, excavation materials or garbage. Empty lots must also be kept free from overgrown vegetation. Vegetation must be kept below 150 mm in height or below the height of the flowers/seed head, whichever is lower.

Builder responsibilities include:



THE TOWNS ON THE GREENS BUILDERS GUIDELINES MANUAL

- Ensuring both undeveloped and developed lots are clean and free of overgrown vegetation, excess building materials, excavation materials, and garbage
- Vegetation, building materials, and garbage are to be taken to the City of Regina landfill; burying of any material is prohibited

14.0 STREET CLOSURES

Street closures or construction equipment blocking driving lanes is not permitted within the subdivision without prior written approval and permit from the City of Regina.

Builder responsibilities include:

- Builders and suppliers are not to block public roadways at any time.
- Builders who possess written permission from the City of Regina to conduct road closures are required to coordinate with KCSM. The cost and installation of any traffic controls are the Builder's responsibility.

15.0 BUILDER SIGNAGE

Builder signage is not permitted in the public road right-of-way, on public property, or on any property under the control of Terra.

Builder responsibilities include:

- Ensuring Builder signage is located within the property lines of the lot for which they are displaying signage

Directional and show home signage will be made available by Terra upon written request.

16.0 OCCUPATIONAL HEALTH & SAFETY – PRIME CONTRACTOR

Saskatchewan Occupational Health & Safety Regulations were revised in regard to Prime Contractor designation as of January 1, 2015. Multi-employer worksites will be required to have a Prime Contractor if there are 10 or more workers or self-employed persons under the direction of two or more employers working on-site.

Builder responsibilities include:

- Ensure that Occupational Health & Safety regulations are being followed on their worksites



- For further information please consult with the Saskatchewan Occupational Health & Safety division (306-787-4496).

17.0 INSPECTIONS BEFORE CONSTRUCTION BEGINS

To ensure builders are not being held accountable for damages done before home construction, we are requesting notification from the builder before any construction activities begin. By completing these inspections before basement excavation, builders will receive an inspection report detailing any damages present before construction, for that specific lot. In the event the builder do not request a lot inspection before construction begins, the builder could be held accountable for damages found during future inspections.

Builder responsibilities include:

- Contact KCSM for a pre-lot inspection before basement excavation begins.

18.0 ARCHITECTURAL & LANDSCAPE GUIDELINES

The Architectural and Landscape Guidelines set forth by Terra were created to enhance the neighborhood as well as create cost effective designs for builders and home owners.

Builder responsibilities include:

- Ensure house plans have been submitted for approval prior to applying for a builder permit
- Landscape guidelines are adhered to (see The Towns Architectural Controls for details).

19.0 TREE PLANTING PROGRAM

Terra will be working with builders and residents to help make The Towns a more desirable neighbourhood with the addition of a tree planting program, providing one front yard tree per lot. (see: Appendix A: Detail A.5 – Tree Planting Program Information) The program will help encourage builders and residents to create tree lined, front yard streetscape that will add both quantitative and qualitative value to the overall development over the lifetime of the community. (Reference, benefits of urban trees: <https://arbor1.com/2015/02/16/20-incredible-benefits-urban-street-trees/>)

Builder responsibilities include:

- Contacting KCSM for coordination of tree availability list and planting guidelines. KCSM will then coordinate order, location and installation of tree on site.



20.0 SUMMARY

Terra, Stantec and KCSM thank you in advance for your cooperation in adhering to the principles outlined in Builder's Manual. Through the efforts of all Builders, Stantec and KCSM, The Towns will be a cleaner, safer community for the public to enjoy.

We always like hearing from our Builder Customers, and at any time you have any suggestions, and or concerns about the contents of the Builders Guideline Manual, please contact Terra, KCSM or Stantec to discuss.



APPENDIX A

Appendix A

Detail A.1 – Concrete Truck Washout Station Detail

Detail A.2 – Construction Crossing Details

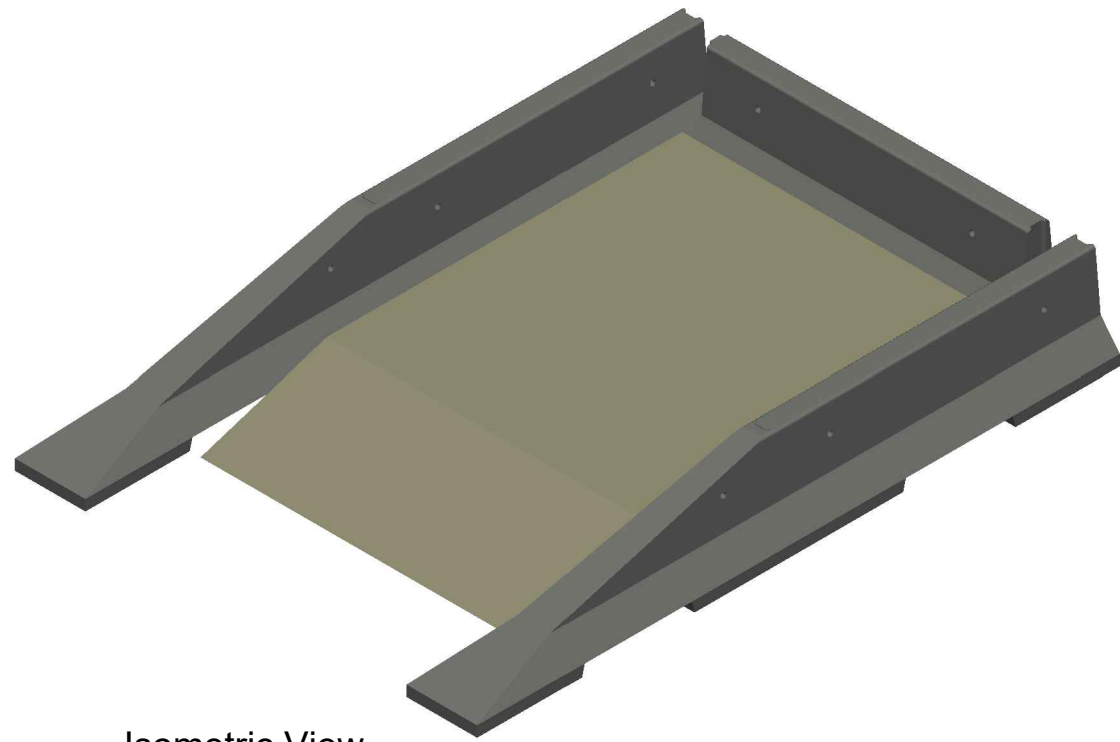
Detail A.3 – Concrete Washout & Clean Fill Dumpsite Locations

Detail A.4 – Water & Sewer Connections Memo

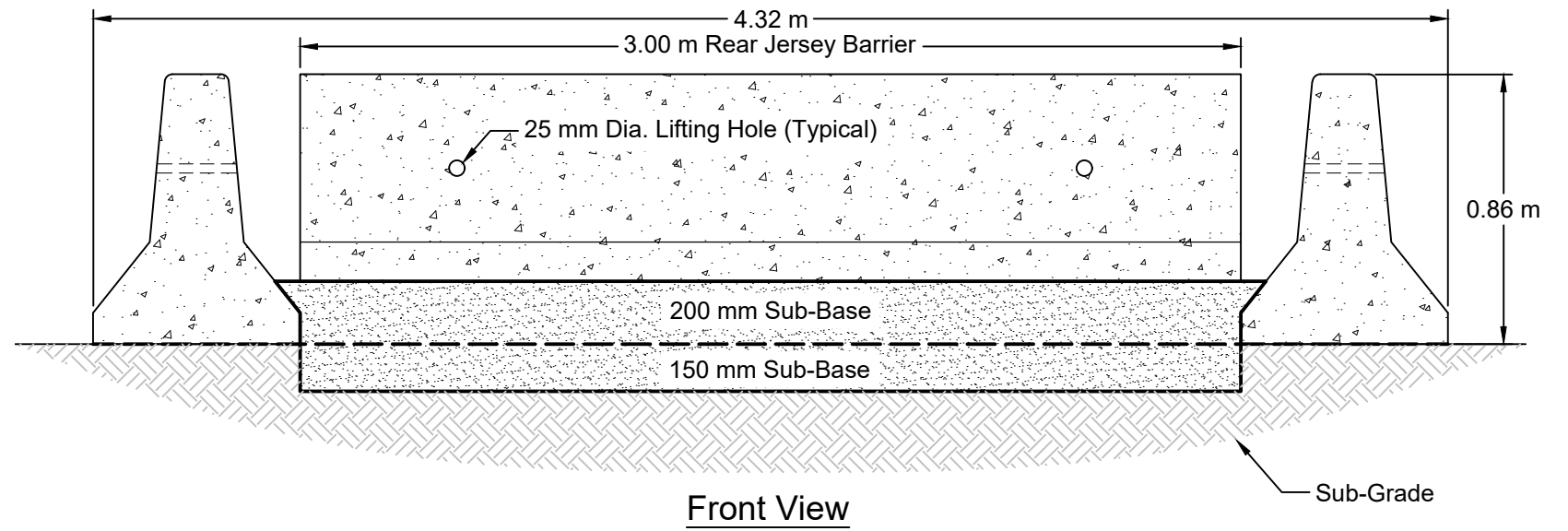
Detail A.5 – Tree Planting Program Information



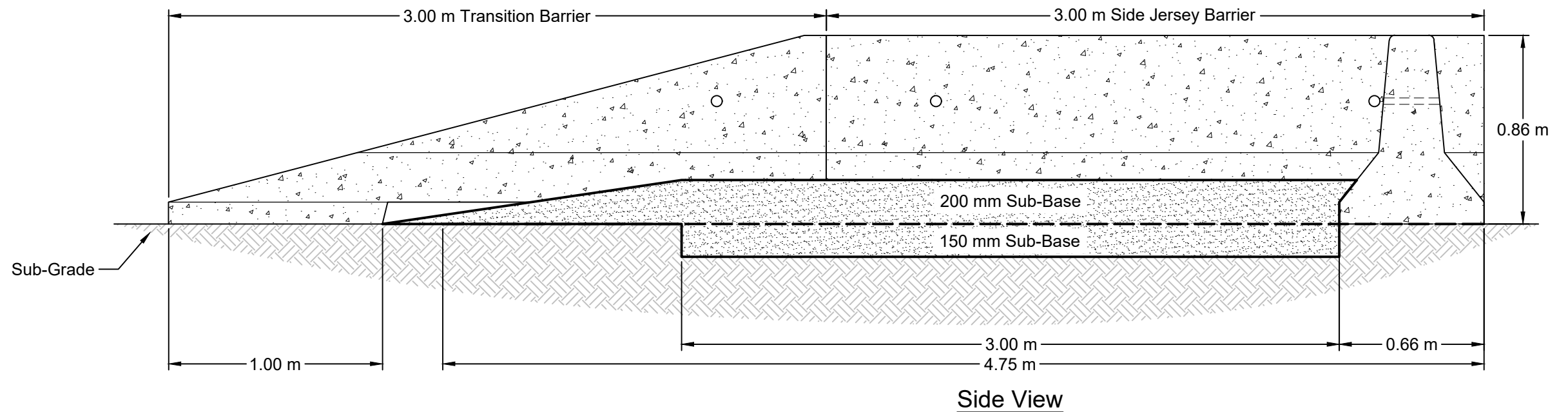
V:\1131\inactive\Cloud_Archive\113101335\drawing\Construction Drawings\Concrete Washout Station\Concrete Washout Station_20200414.dwg
2020/04/14 2:36 PM By: Wilkinson, Stephanie



Isometric View



Front View



Side View



4000 - 1820 Hamilton Street
Regina, Sk S4P 2B8
www.stantec.com

Legend

----- Combigrid 30/30 Q1 151GRK3

Materials

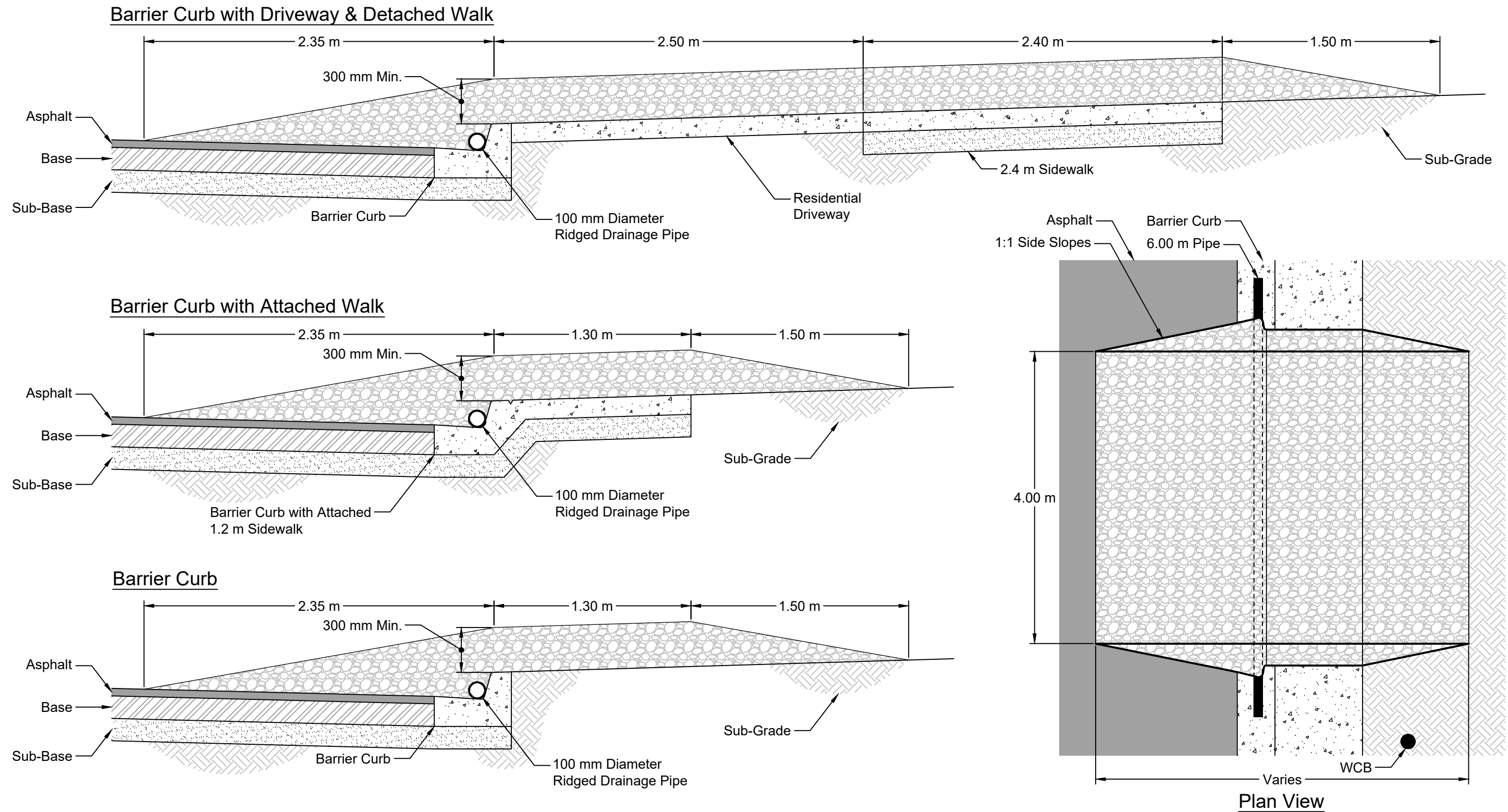
- (2) "Median Barrier" 3.00 m Transition Barriers
- (3) Type 1 "New Jersey" Style Median Barriers
- 4.75 m x 4.32 m of Combigrid 30/30 Q1 151GRK3
- Approximately 4.00 m³ of Sub-Base
(Sub-Base shall be added to maintain 200 mm top layer)
- Approximately 1.35 m³ of Excavation

Client/Project
Terra Developments Inc.
The Towns on The Greens

Figure No.
Detail A.1

Title
Concrete Truck
Washout Station Detail

V:\1131\inactive\Cloud_Archive\113101335\drawing\Construction Drawings\Sidewalk X-Sections\Sidewalk Cross Sections.dwg
2020/04/15 10:02 AM By: Wilkinson, Stephanie



4000 - 1820 Hamilton Street
Regina, Sk S4P 2B8
www.stantec.com

Materials
- 6 m of 100 mm Diameter Pipe
- Type 32 Base

Notes
- Construction crossing NOT to be installed over water curb box (WCB)
- Construction crossing to be installed, maintained and removed by builders
- Construction crossing must be installed before construction activities begin
- Written permission is required for barrier curb crossing

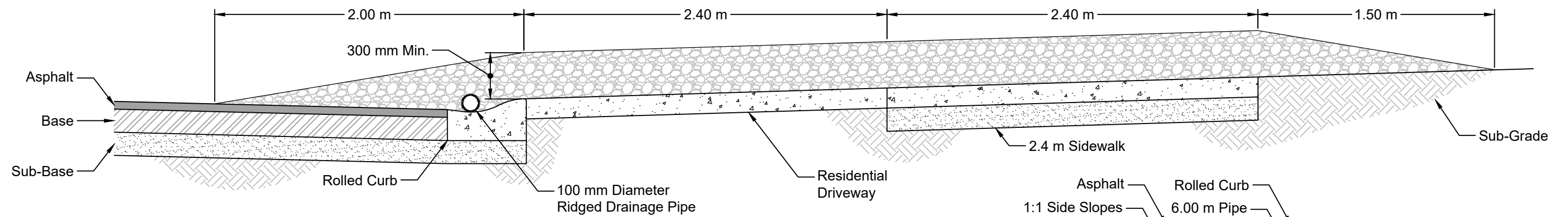
Client/Project
Terra Developments Inc.
The Towns on The Greens

Figure No.
Detail A 2.1

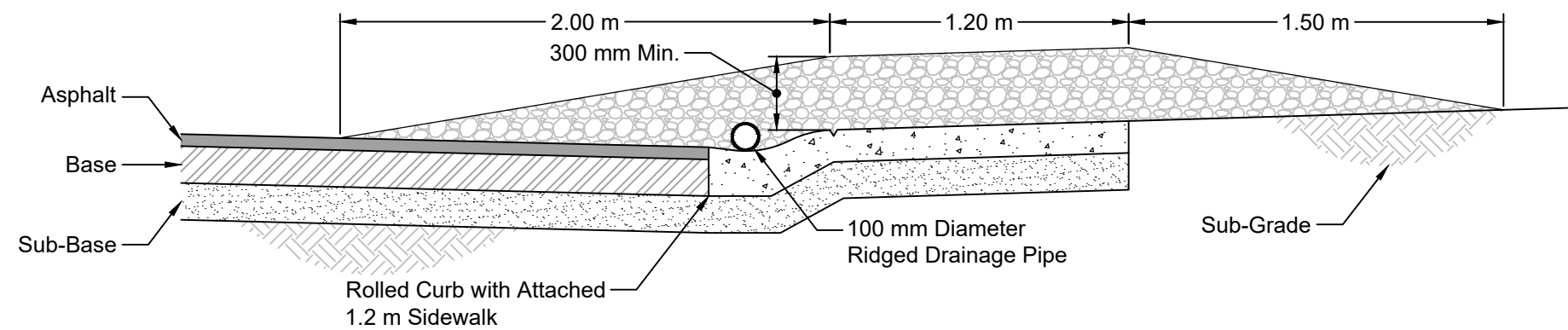
Title
Barrier Curb & Sidewalk
Construction Crossing Detail

V:\1131\inactive\Cloud_Archive\113101335\drawing\Construction Drawings\Sidewalk X-Sections\Sidewalk Cross Sections.dwg
2020/04/15 10:00 AM By: Wilkinson, Stephanie

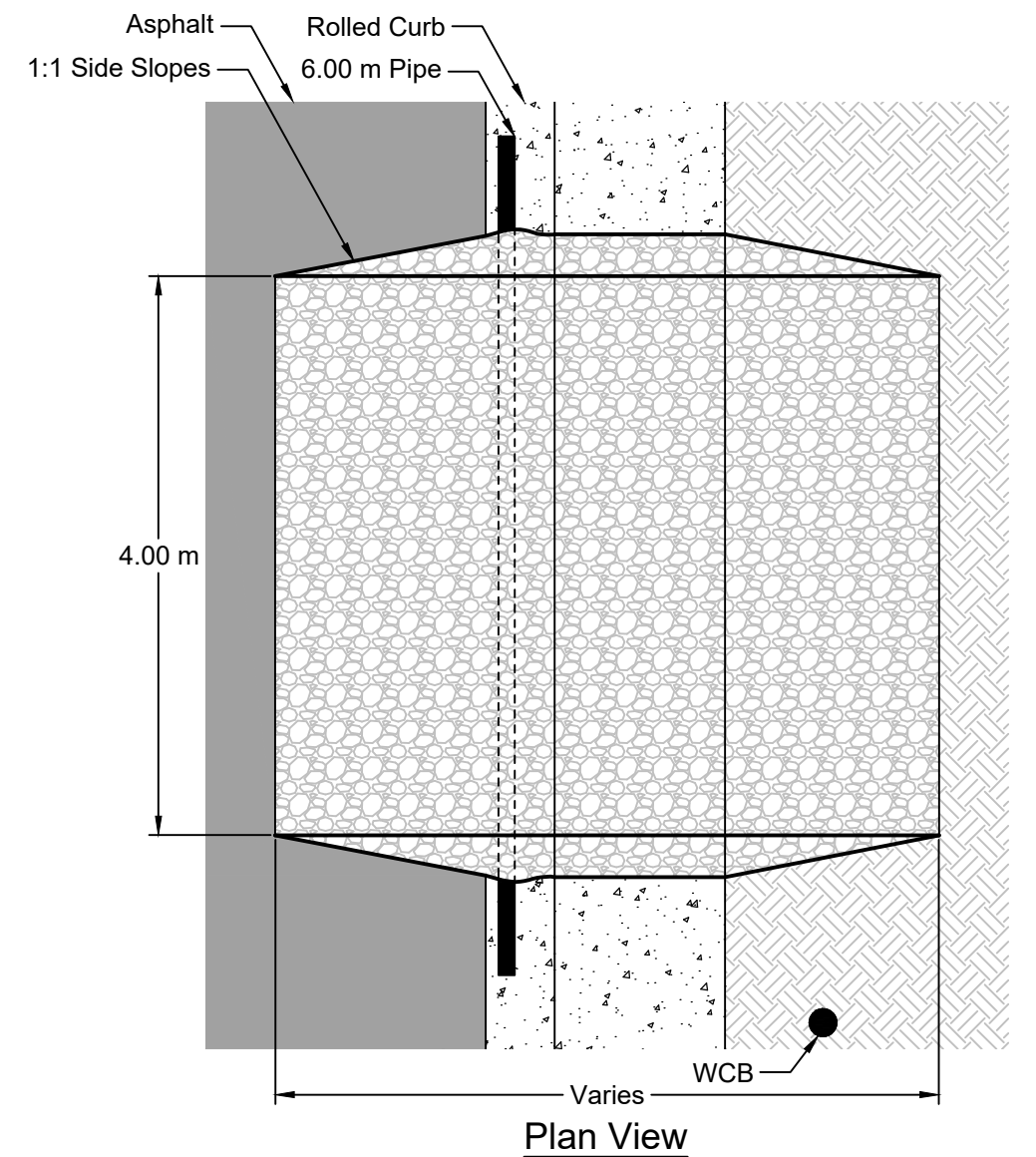
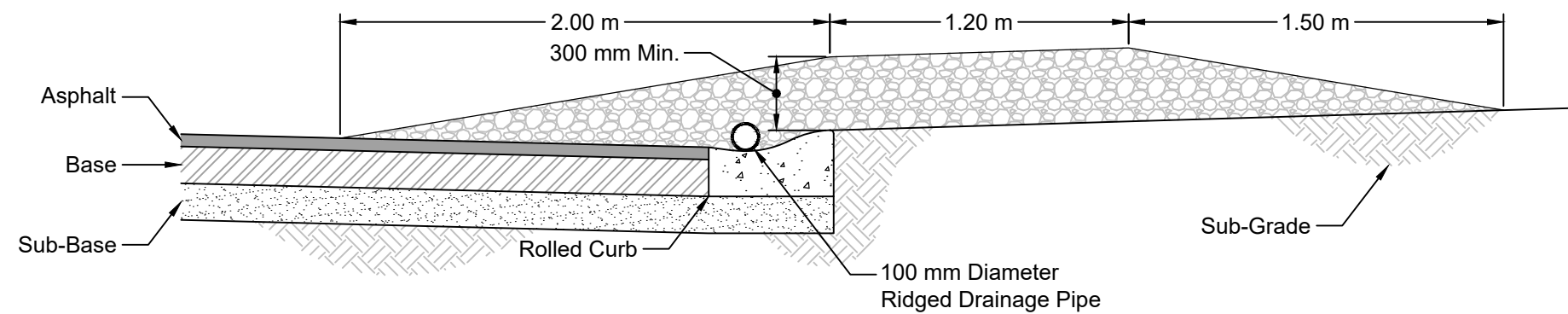
Rolled Curb with Driveway & Detached Walk



Rolled Curb with Attached Walk



Rolled Curb



4000 - 1820 Hamilton Street
Regina, Sk S4P 2B8
www.stantec.com

Materials
- 6 m of 100 mm Diameter Pipe
- Type 32 Base

Notes
- Construction crossing NOT to be installed over water curb box (WCB)
- Construction crossing to be installed, maintained and removed by builders
- Construction crossing must be installed before construction activities begin

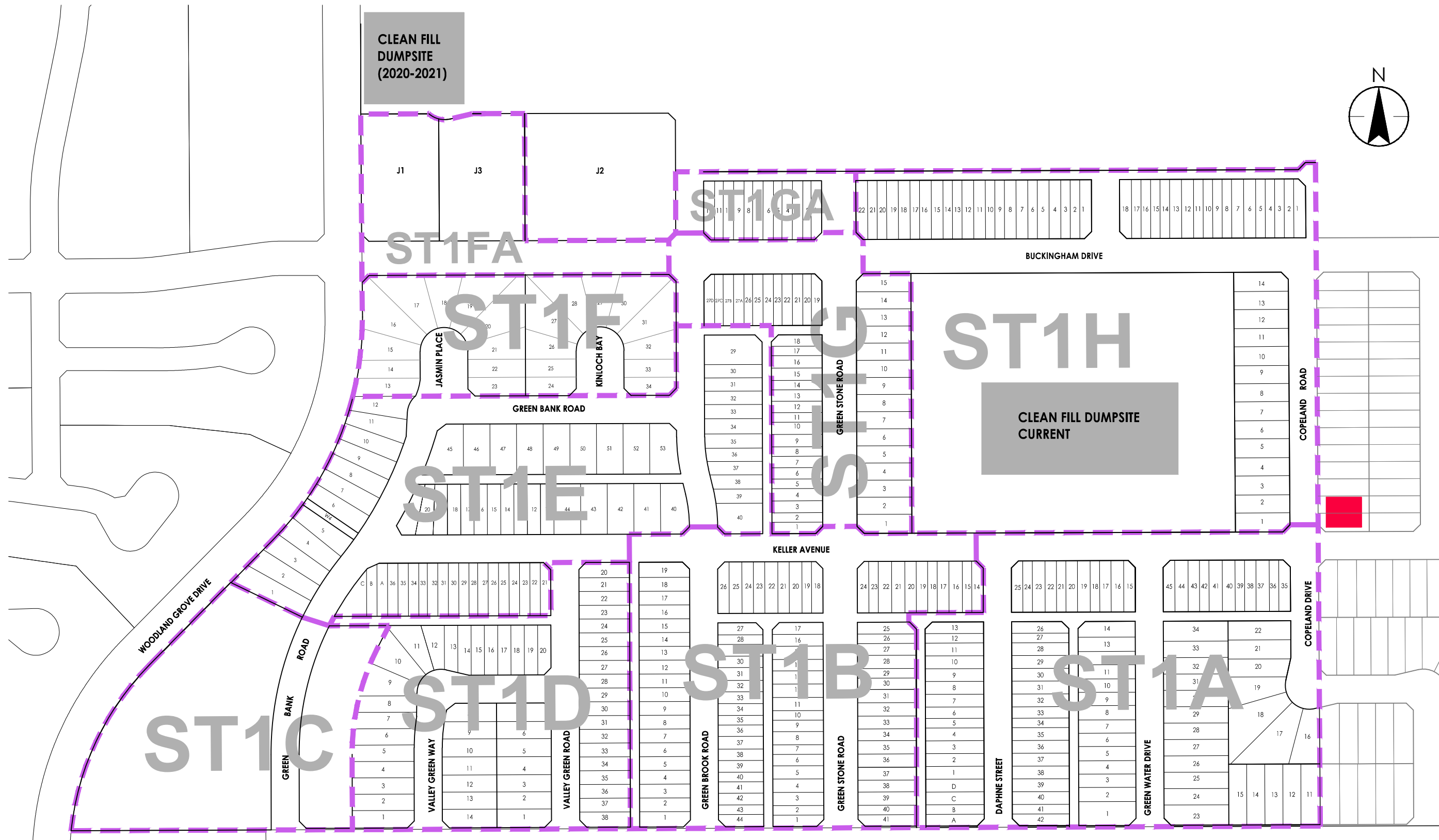
Client/Project
Terra Developments Inc.
The Towns on The Greens

Figure No.
Detail A 2.2

Title
Rolled Curb & Sidewalk
Construction Crossing Detail

v:\1131\active\113101520\design\drawing\concrete disposal

2020.12.07 8:46:55 AM



Stantec
 400-1820 Hamilton street
 Regina, SK S4P 2B8
 Tel: 1.306.781.6350
 www.stantec.com

Notes

Legend

- CONCRETE WASH STATION
- CLEAN FILL DUMPSITE

Client/Project
 TERRA DEVELOPMENTS INC.
 THE TOWNS

Project No.
 113101520

Title
 CONCRETE WASHOUT &
 CLEANFILL DUMPSITE
 LOCATIONS

Revision 1	Date 2020.12.07
Reference Sheet	Figure No. A.3

To: Towns Builders
Regina, Saskatchewan

From: Stantec - Regina
400-1820 Hamilton Street
Regina, SK S4P 2B8

File: 113101520

Date: April 24, 2020

Reference: Water & Sewer Service Connections Bulletin

The following memorandum comes as a result of some uncertainty on the specific location of water & sewer service connections that were installed prior to the construction of streets in the Towns. Although the information is noted on the grade plan, it is unclear if this information is being reviewed and relayed effectively to the subcontractors that are completing service connections to homes. This memo should be able to clarify where the services were installed and this information should be relayed onto your subcontractors. Where there is any uncertainty with the location of the services, please feel free to contact Stantec to assist in locations if necessary, prior to any excavation work.

Service Connection Markers

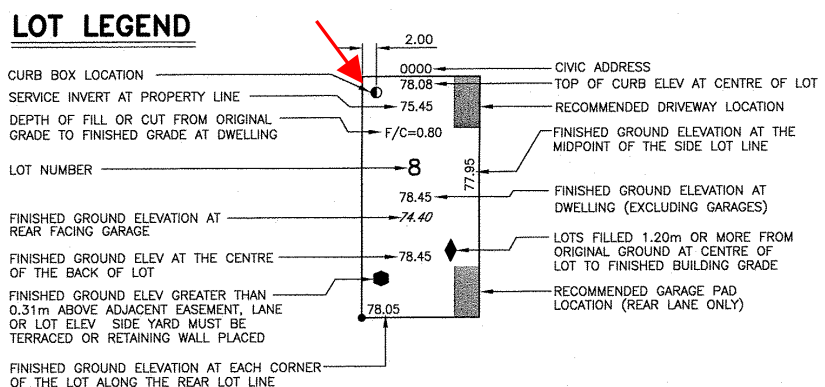
Typically, the undergrounds contractor in most areas has installed a vertical standpipe at the location of the water curb box (WCB). In other instances, this is also denoted by an orange or red 2x4 stake at the location of the curbstop with a length of steel reinforcement bar, buried vertically to locate the curbstop. If there is no visible marker remaining, please contact Stantec (Roger Payot – 306 533 2767) to have the location of the water curb box confirmed.

Grading Plan Service Connection Locations

Stantec denotes all of the service location information on the grading plan for each phase/stage. This information is typically located on drawing C-2 of the full drawing set. If you do not have a copy of this plan, please visit Terra's website www.terrainc.ca or contact Terra or Stantec to receive a copy of the current grading plan.

Items of note on the drawing:

Lot Legend, top left corner, typically, services are located 2.00 metres from the side yard property line. In most instances, the water curb box or WCB, is located on the front yard property line. If there is a sidewalk present, look for the WCB stamp in the concrete walk. The water curb box is typically on the opposite side of the driveway.



Reference: Water & Sewer Service Connections Bulletin

Service Connections:

Provides a verbal description for typical lot setbacks for WCB's as well as special cases, such as corner lots to be aware of. Also denotes material type and size for both water/sewer connections. Located on the drawings immediately down from the lot legend.

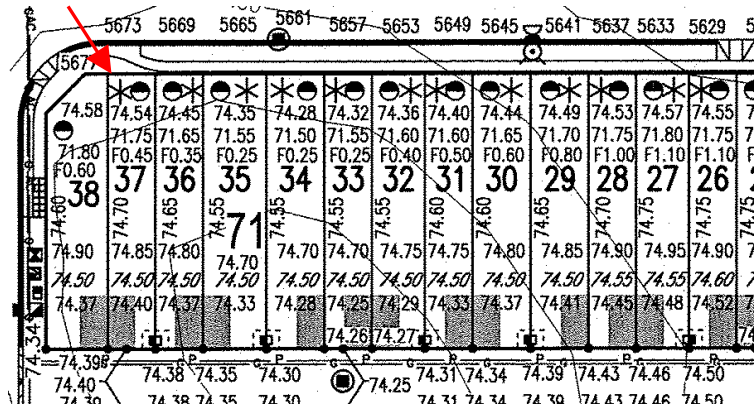
SERVICE CONNECTIONS

- CURB BOXES SHALL BE LOCATED:
- a) 2.00m FROM THE SIDEYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE OR AS NOTED.
 - b) CORNER LOTS – 2.00m FROM THE INTERSECTION OF THE EXTENSION OF THE FRONT PROPERTY AND THE SIDEYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE OR AS NOTED.

SEWER CONNECTIONS TO BE 150mm ϕ PVC
 WATER CONNECTIONS TO BE 20mm ϕ COPPER (TYPE K).

Other notes

Builders are to ensure that the grading plans are reviewed in detail for each phase, for example, an additional "star" symbol is denoted on some lots, these lots indicate that the pipe has been extended a minimum of 3.0m past the WCB location for connection to the home. All symbols are explained in the legend on the right side of the grading plan.



In any instance, where there is uncertainty, we encourage all builders and trades to avoid or minimize any excavation between the back of curb and the property line. This area must remain undisturbed to ensure the integrity of the future sidewalks and boulevard landscaping. If any damage occurs, please notify Nick Keith immediately.

Thank you for your attention to this matter, please distribute this information to your trades that would regularly conduct this work or any others that may benefit from having this information.

Have a safe day!

STANTEC CONSULTING LTD.

George Tsougrianis, P. Eng.
 Principal, Civil Engineer
 Phone: 306 781 6360 Fax: 306 359 0233
 george.tsougrianis@stantec.com



June 18, 2020

Attention: Residents of the Towns

Dear Home Owner,

Reference: The Towns – Residential Tree Planting Program

Terra Developments Inc. is proud to offer residents of the Towns a free front yard tree as a part of our tree planting program. The attached letter details all the information you need to know about this program.

Please contact Nick Keith with Keith Construction & Safety Management with any questions you have in regards to the Tree Planting Program.

Nick Keith
Phone: (306) 530-9072
Kcsm@sasktel.net

Regards,

Terra Developments Inc.

A handwritten signature in blue ink that reads "C. Lawrence".

Cathy Lawrence
Phone: (306) 529-1244
cathy@terrainc.ca

Attachment: Front Yard Tree Planting Program Letter

Front Yard Tree Planting Program

As part of the vision to increase canopy coverage, provide character and sense of place within The Towns neighbourhood, a front yard tree planting program was created for all single family lots. One (1) tree is to be provided by Terra Developments for each lot to be planted in the front yard only. Some of the added benefits of the trees are stormwater capture, provide shade and cooling, absorb air pollution, increased property value and increased health outcomes.

1. Corner lots may have space for up to 2 trees including the side lot. Tree location must be visible to the street and meet setbacks from house and utilities. i.e. not allowed in a fenced-in area such as a rear yard.
2. Lots with setback concerns, i.e. shallow utilities, housing or adjacent trees, will have the option to receive 6 shrubs in place of a tree.
3. Lots located along a tree lined street are not eligible for this program. i.e. Green Stone Road, Buckingham Road, etc.

Planting Schedule

The tree will be planted after the homeowner has received their occupancy permit or after the home builder has completed construction for a show home or spec home, and upon acceptance of this offer. Please sign the bottom part of this sheet and return to Terra Developments along with a copy of your occupancy permit. Upon receipt, Nick (KCSM) will schedule a meeting to confirm location and tree variety is acceptable for your lot. Tree planting schedule will be dependent on the availability of the tree. If the letter is not received 1 month prior to October 15, your tree planting will be deferred to the next season.

There is no credit available if the homeowner declines a front yard tree

Tree Selection

There is a large selection of trees available to provide diversity to the streetscape and to ensure the proper location for each tree planted. KCSM will provide a site review and help to determine the proper tree for your lot.

All species listed are hardy to the Regina area. The plant material has been identified by their common name and botanical names; please search the internet for more information so you have a better understanding of the type of tree/shrub you want to plant in your yard.

We all want to be good neighbours. Strive to choose a tree that will minimize branching from overhanging into adjacent properties which will minimize dropping fruit, nuts, seeds, leaves and/or branches on your neighbour's property.

Tree and Shrub List			
Common Name	Botanical Name	Size: Height x Spread	Caliper / Container
Columnar Trees			
Columnar Aspen	Populus tremula 'Erecta'	10m x 3m	50mm Cal.
Columnar Blue Spruce	Picea pungens 'Fastigiata'	6m x 2m	15 gallon / 10' Height
Midnite Spire Rosybloom Crabapple	Malus x 'Jefnite'	6m x 2m	50 mm Cal.
Small/Medium Trees			
Amur Maple (tree form)	Acer ginnala	6m x 5m	50mm Cal.
Norkent Apple (fruit tree)	Malus 'Norkent'	6m x 5m	50mm Cal.
Thunderchild Flowering Crabapple	Malus x adstringens 'Thunderchild'	6m x 6m	50mm Cal.
Goldspur Amur Cherry	Prunus maackii 'Jefspur'	5m x 3m	50mm Cal.
Mayday – Sweetheart	Prunus padus 'Sweetheart'	7m x 5m	60mm Cal.
Schubert Chokecherry	Prunus virginiana 'Schubert'	8m x 6m	60mm Cal.
Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	7m x 5m	60mm Cal.
Large Trees			
Dropmore Linden	Tilia x flavescens 'Dropmore'	10m x 7m	80mm Cal.
Brandon Elm	Ulmus americana 'Brandon'	13m x 10m	80mm Cal.
Shrubs			
Arcadia Juniper	Juniperus sabina 'Arcadia'	0.6m x 1.5m	2g cont.
Blue Danube Juniper	Juniperus sabina 'Blue Danube'	0.6m x 1.5m	2g cont.
Double Play Red Spirea	Spiraea japonica 'SMNSHMFR'	0.9 x 0.9	2g cont.
Tiny Wine Gold Ninebark	Physocarpus opulifolius 'SMNPOTWG'	1m x 1m	2g cont.
Tiny Wine Ninebark	Physocarpus opulifolius 'SMPOTW'	1.25m x 1.25m	2g cont.
Little Rebel Dogwood	Cornus alba 'Jeffreb'	1.25 x 1.25	2g cont.
Cream Cracker Dogwood	Cornus alba 'Cream Cracker'	1.25m x 1.25m	2g cont.
Grasses			
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1.2m x 0.6m	1g cont.

Tree planting guidelines:

The location will be reviewed by KCSM to ensure the type of tree and location will work with the streetscape. Tree planting must follow these planting setbacks:

- 0.5m minimum inside front property line
- 2m minimum from side property line
- 3m to 7m away from adjacent trees (pending tree canopy diameter of both trees)
- 2m from Storm, Water and Sanitary services
- 2m from shallow utilities

- 5m from streetlights
- 7m from intersections
- 5m from alleys
- Not recommended between driveways unless a columnar type.

Maintenance

The homeowner will maintain the tree from the time of planting and take full responsibility for the health of the tree, including watering, fertilizing, pruning, and pest control.

Use these guidelines to keep your tree healthy until it is established:

- Water the tree the day it is planted using a slow drip until the soil is saturated.
- A watering bag (Gator bag) will be provided with the tree to help simplify watering requirements. Just fill the bag and it will slowly release water into the tree well.
- Water your tree weekly for the first year from late spring to early fall; after the first year, water the tree weekly only when it hasn't rained much.
- Check soil periodically to determine moisture content. Soil should be moist not drenched or muddy.
- Scratch the surface of the soil to ensure that water has penetrated the root ball and tree pit area. If the soil is dry, water again until moist throughout the root ball.
- During periods of drought it is especially important to water your new tree to prevent desiccation and wilting.
- Do not let the planting dry out completely.
- A tree guard is recommended for protection. You should also protect your tree from mechanical damage from grass trimmers, lawn mowers, bicycles and cars. A minimum 1m diameter tree well is recommended.
- Mulching is recommended to a maximum depth of 10 cm (4 inches). Mulching reduces the risk of grass trimmer damage, helps retain moisture and adds organic material to the soil. Ensure mulch is pulled back 150mm away from trunk of tree. Mulching is not recommended for yards with irrigation systems as this can saturate the soil around the root ball.
- Fertilize during the second year after the tree was planted. Use brand name tree fertilizers and follow the fertilizer manufacturer's recommended application rates.
- Keep weed killers, solvents and cleaning agents away from your tree.

Agreement

I accept the front yard tree(s), species and placement, as provided by Terra Developments and take full responsibility for the tree(s) after planting.

Name (print): _____

Signature: _____ Date _____

Address: _____

Email: _____

Phone: _____

Please send the signed letter to:

Nick Keith

KCSM@Sasktel.net