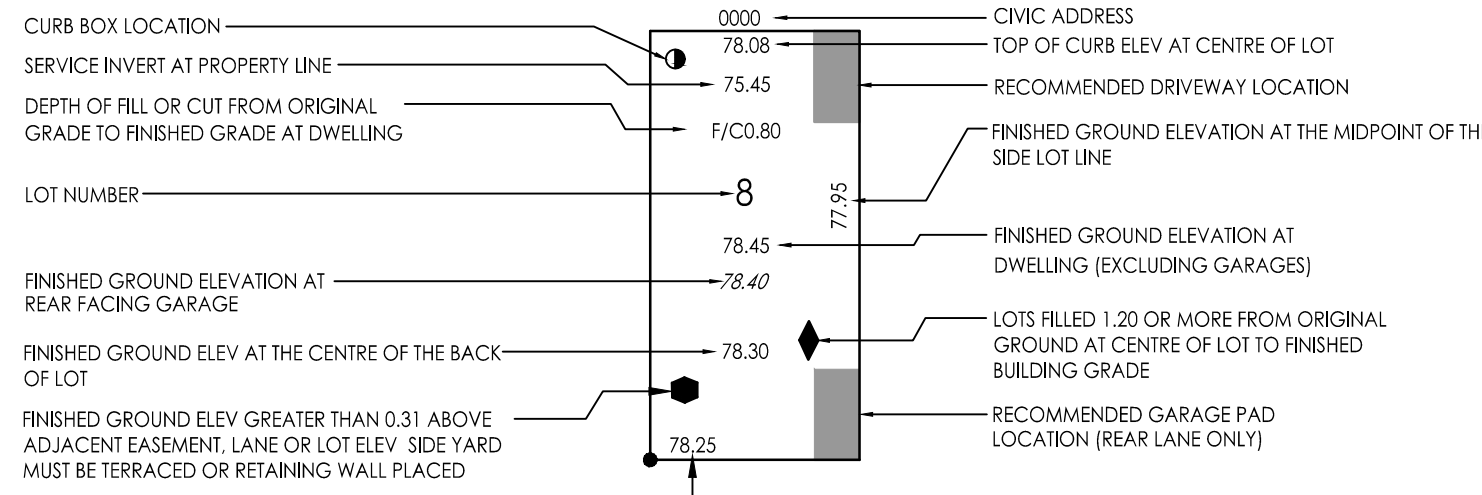


LOT LEGEND



BENCH MARK

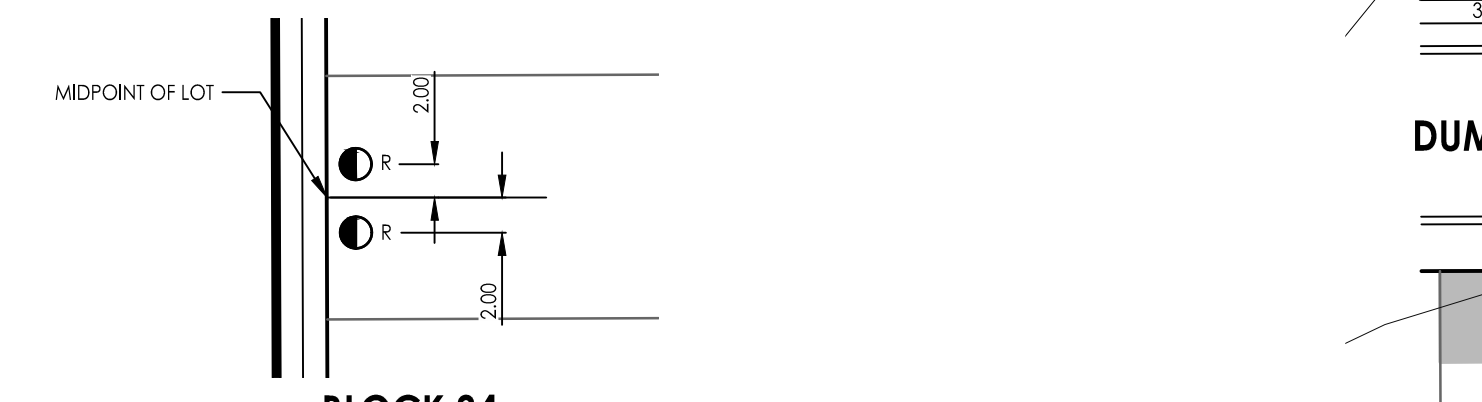
78V1257 GEODETIC DATUM
 NORTHING 5584478.574, EASTING 533657.461
 ELEVATION 575.923
 AUGER PIPE WITH BRASS CAP, AT NORTHEAST CORNER OF SECTION 3-17-19, 0.9 KM SOUTH OF HIGHWAY 33, 3.10 WEST OF CENTRE LINE OF SECTION ROAD, 20CM BELOW GROUND LEVEL. ESTABLISHED BY SASKATCHEWAN CENTRAL SURVEY AND MAP.

SERVICE CONNECTIONS

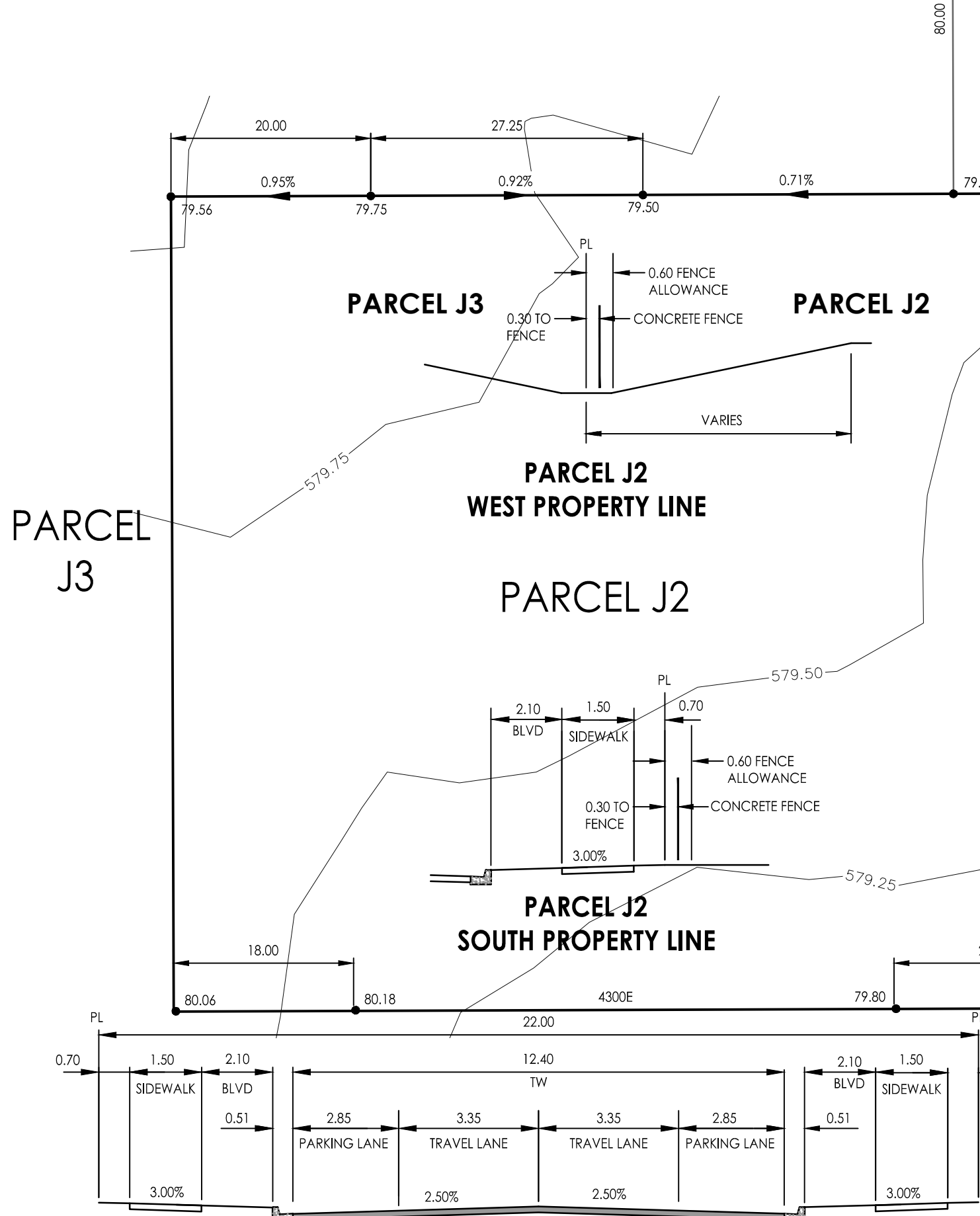
CURB BOXES SHALL BE LOCATED:
 a) 2.00 FROM THE SIDEYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE OR AS NOTED.
 b) CORNER LOTS - 2.00 FROM THE INTERSECTION OF THE EXTENSION OF THE FRONT PROPERTY AND THE SIDEYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE.
 c) BLOCK 34 - SEE DETAIL BELOW.

NOTE

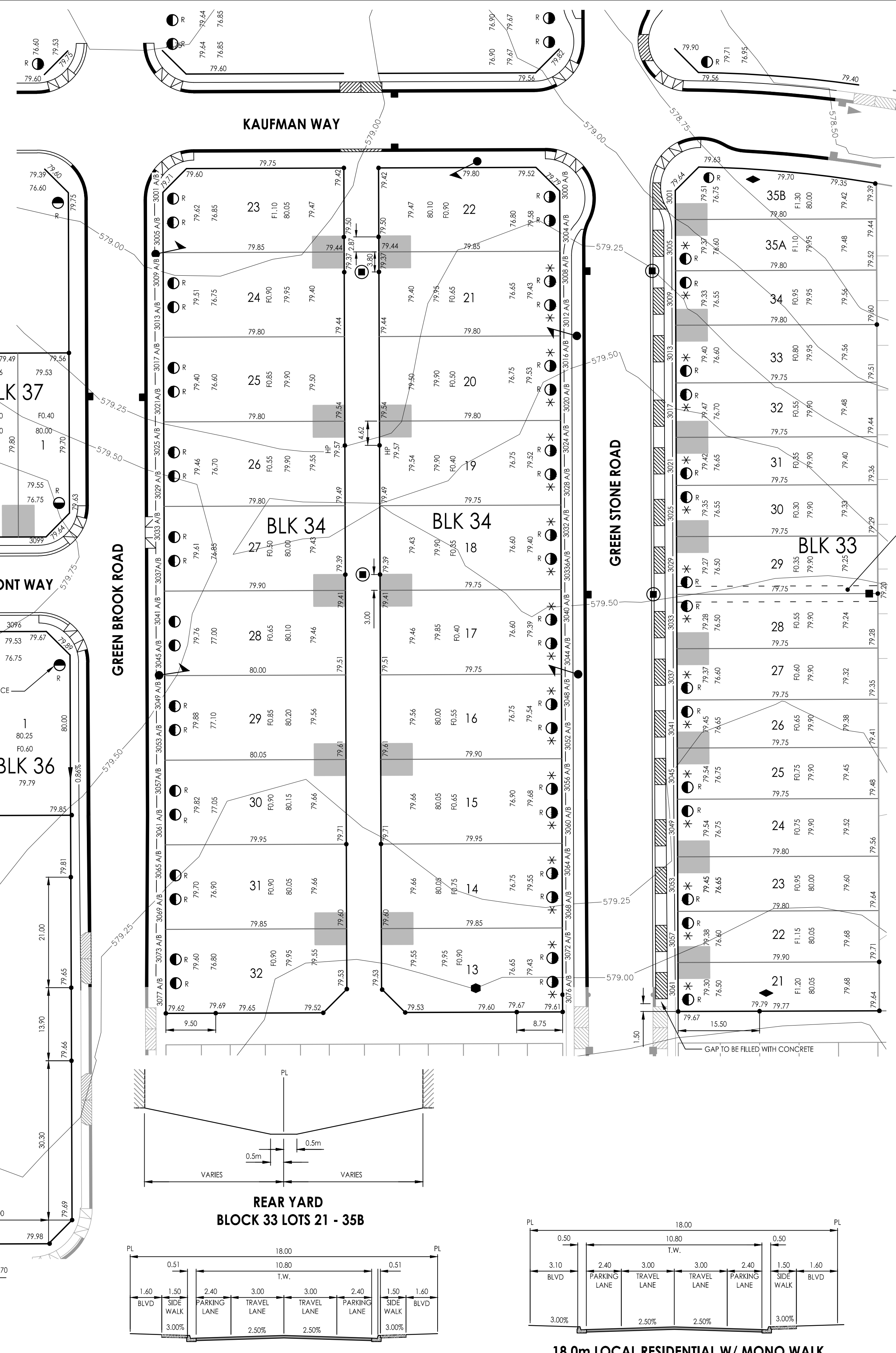
IF EXCAVATIONS ARE PROPOSED TO EXCEED 5.00m DEPTH BELOW ORIGINAL GROUND CONTOURS PLEASE CONTACT TERRA DEVELOPMENTS INC.
 IF BASEMENT EXCAVATION DOES NOT EXCEED THE FILL SHOWN ON THE BUILDING GRADE PLAN, THE BOTTOM OF THE EXCAVATION MUST BE TESTED TO DETERMINE THE BEARING CAPACITY. THIS TEST WILL BE DONE BY CONTACTING TERRA DEVELOPMENTS INC. 306-924-0445.



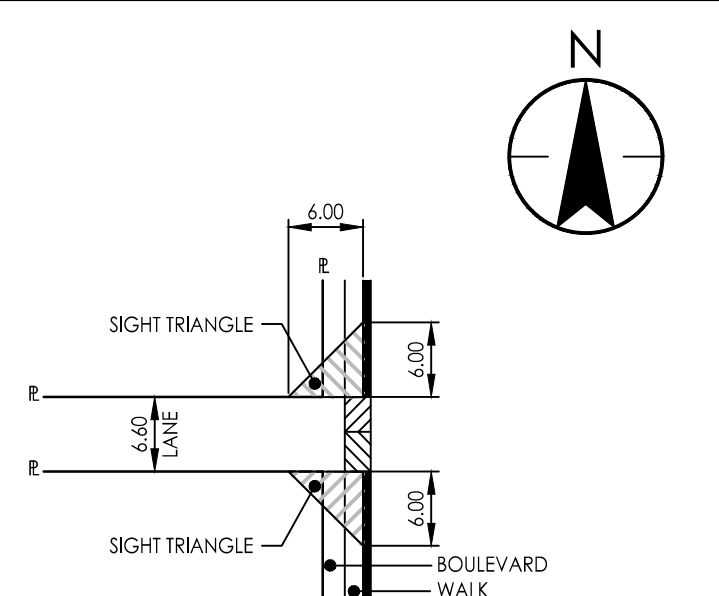
BLOCK 34 TYPICAL SERVICE LOCATIONS



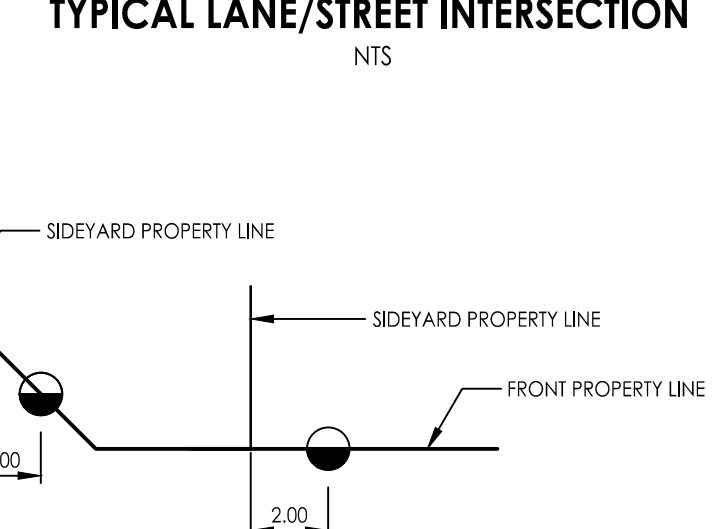
22.0m COLLECTOR GREEN STONE ROAD



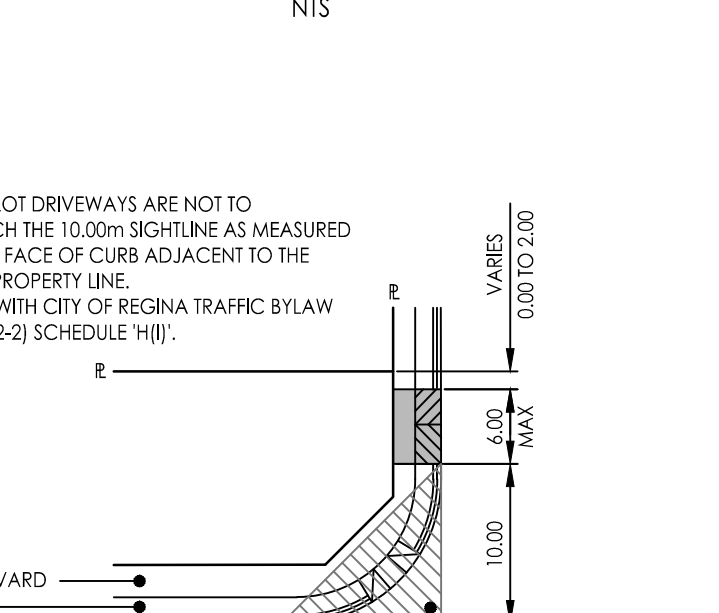
18.0m LOCAL RESIDENTIAL - WALK BOTH SIDES GREEN BROOKE ROAD SOUTH OF DUMONT WAY
18.0m LOCAL RESIDENTIAL W/ MONO WALK GREEN BROOK ROAD NORTH OF DUMONT WAY AND DUMONT WAY



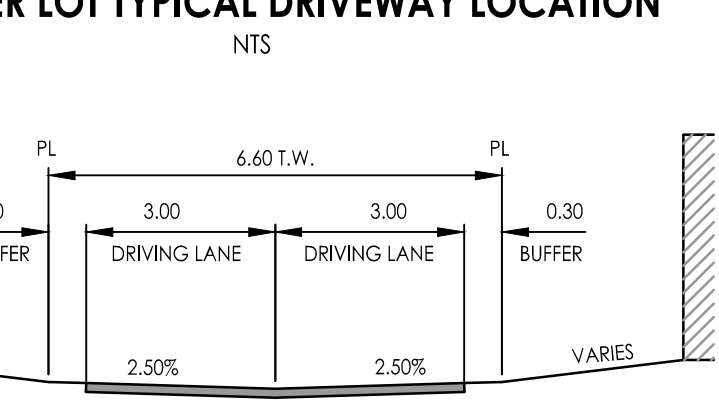
TYPICAL LANE/STREET INTERSECTION



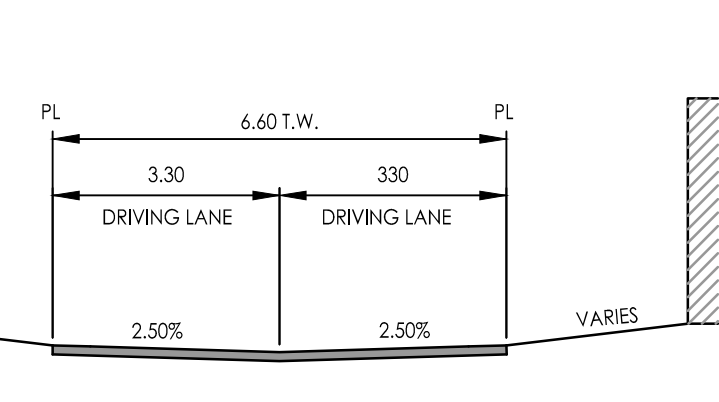
TYPICAL CURB BOX LOCATION DETAIL



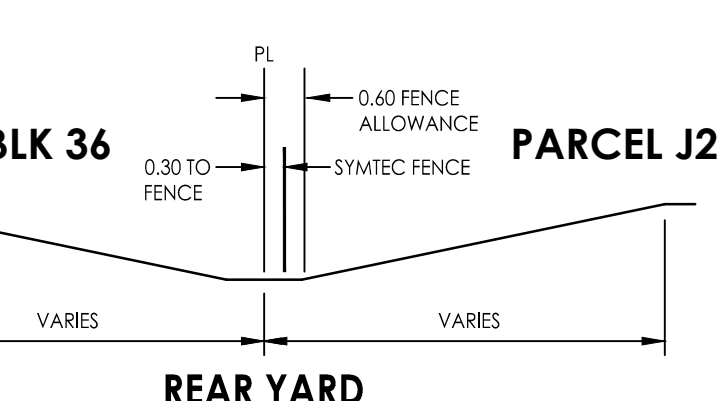
CORNER LOT TYPICAL DRIVEWAY LOCATION



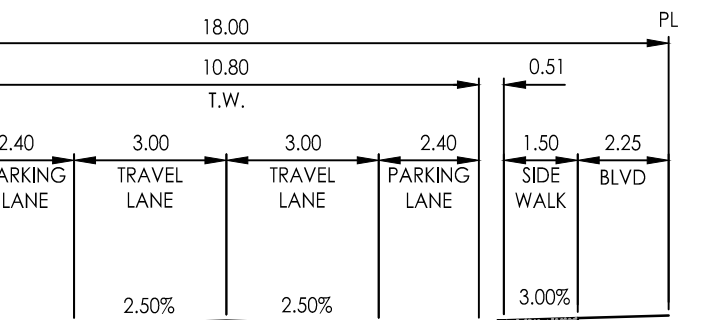
REAR YARD WITH LANE BLOCK 34 LOTS 13 TO 32



SIDE YARD WITH LANE BLOCK 34 LOTS 13 AND 32



REAR YARD BLOCK 36 - PARCEL J2



18.0m LOCAL RESIDENTIAL KAUFMAN WAY - SIDEWALK ONE SIDE



Stantec
 400-1820 Hamilton Street
 Regina, SK S4P 2B8
 Tel: 1.306.781.6350
 www.stantec.com

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Utility Disclaimer
 Location of existing utilities as shown may not be exact or may be incomplete. Contractor to verify exact location of all utilities with appropriate authorities prior to starting construction. The developer and the consultant assume no responsibility for any utilities damaged during construction.

Legend

[Symbol]	SIDEWALK WITH BARRIER CURB
[Symbol]	SIDEWALK WITH ROLLED CURB
[Symbol]	BARRIER CURB
[Symbol]	ROLLED CURB
[Symbol]	ORIGINAL CONTOURS
[Symbol]	575.00
[Symbol]	BURIED SASKPOWER LINE
[Symbol]	BURIED GAS LINE
[Symbol]	BURIED SASKTEL LINE
[Symbol]	SASKPOWER TRANSFORMER
[Symbol]	SASKTEL PEDESTAL
[Symbol]	SASKTEL PEDESTAL
[Symbol]	CATV PEDESTAL
[Symbol]	CATCHBASIN/MANHOLE
[Symbol]	CATCHBASIN
[Symbol]	FIRE HYDRANT
[Symbol]	POST TOP STREET LIGHT
[Symbol]	STREET LIGHT
[Symbol]	SUPER MAIL BOX
[Symbol]	HP
[Symbol]	SERVICE LOCATION
[Symbol]	SERVICE STUBBED 3.00m INTO PROPERTY

- Notes**
1. ALL MATERIALS AND CONSTRUCTION TO COMPLY WITH CURRENT CITY OF REGINA STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS.
 2. ADD 500m FOR GEODETIC ELEVATION.
 3. ALL DIMENSIONS AND ELEVATIONS IN METERS UNLESS OTHERWISE NOTED.

Revision	By	Appd.	MS	BP	21.10.15
1	REVISE SURFACE ELEVATIONS AND PIPE ELEVATIONS				YY.MM.DD
C	FOR CONSTRUCTION		BP	GT	21.10.27
B	FOR APPROVAL		BP	GT	21.08.31
A	FOR APPROVAL		BP	GT	21.08.18

File Name: 111000388_C-2
 Discipline: CIVIL
 Sk. Reg. No. 15463
 Dwn. Chkd. Dsgn. 2021.03.17
 YY.MM.DD

Permit-Seal
 Association of Professional Engineers & Geoscientists of Saskatchewan
 CERTIFICATE OF AUTHORIZATION
 STANTEC CONSULTING LTD.
 Number: C0969
 Permission to Consult held by:
 Sk. Reg. No. Signature
 CIVIL 15463

Client/Project
 TERRA DEVELOPMENTS INC.
 THE TOWNS
 PHASE 2 - STAGE 2
 SITE SERVICES
 Regina, Saskatchewan

Title
LOT GRADING
 Project No. 1110-00388
 Revision 1 Sheet 2 of 10
 Drawing No. C-2
 Scale 0 5 15 25m