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The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
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Utility Disclaimer

Location of existing utilities as shown may not be exact or may be incomplete. Contractor to verify exact location of all utilities with appropriate authorities prior to starting construction. The developer and the consultant assume no responsibility for any utilities damaged during construction.

Legend

- SIDEWALK WITH BARRIER CURB
- SIDEWALK WITH ROLLED CURB
- BARRIER CURB
- ROLLED CURB
- ORIGINAL CONTOURS
- BURIED SASKPOWER LINE
- BURIED GAS LINE
- BURIED SASKTEL LINE
- SASKPOWER TRANSFORMER
- SASKPOWER PEDESTAL
- SASKTEL PEDESTAL
- CATV PEDESTAL
- CATCHBASIN/MANHOLE
- CATCHBASIN
- FIRE HYDRANT
- POST TOP STREET LIGHT
- SUPER MAIL BOX
- HIGH POINT
- SERVICE LOCATION
- EXISTING SERVICE LOCATION
- SERVICE STUBBED 3.00m INTO PROPERTY

Notes

- ALL MATERIALS AND CONSTRUCTION TO COMPLY WITH CURRENT CITY OF REGINA STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ADD 500m FOR GEODETIC ELEVATION.

Revision

Revision	By	Appd.	YY.MM.DD
C FOR RECORD		MS JF	19.07.08
B FOR APPROVAL		JF BP	18.08.08
A FOR APPROVAL		JF BP	18.05.22
Issued		By Appd.	YY.MM.DD

Permit-Seal

RECORD DRAWING
JULY 08, 2019

Client/Project

TERRA DEVELOPMENTS INC.
THE TOWNS

PHASE 1 - STAGE 1F
SITE SERVICES

Regina, Saskatchewan

Title

LOT GRADING

Project No.
1131-01210

Drawing No.
C-2

Scale
0 5 15 25m

Sheet
2 of 7

Revision
0

SERVICE CONNECTIONS

CURB BOXES SHALL BE LOCATED:
a) 2.00m FROM THE SIDYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE OR AS NOTED.

b) CORNER LOTS - 2.00m FROM THE INTERSECTION OF THE EXTENSION OF THE FRONT PROPERTY AND THE SIDYARD PROPERTY LINE FURTHEST FROM THE DRIVEWAY ALONG THE FRONT PROPERTY LINE.

SEWER CONNECTIONS TO BE 150mm Ø PVC
WATER CONNECTIONS TO BE 25mm Ø COPPER (TYPE K).

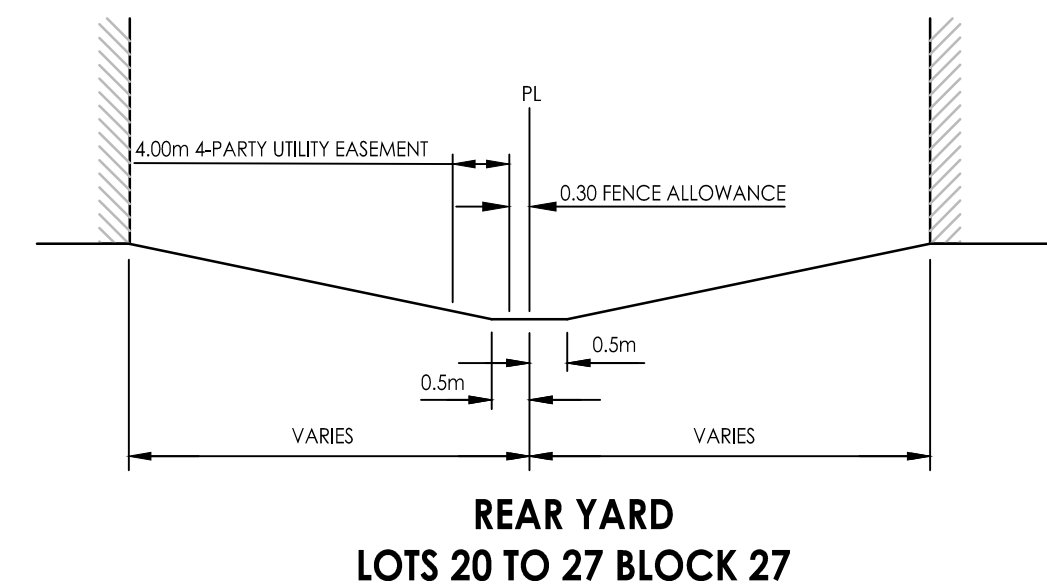
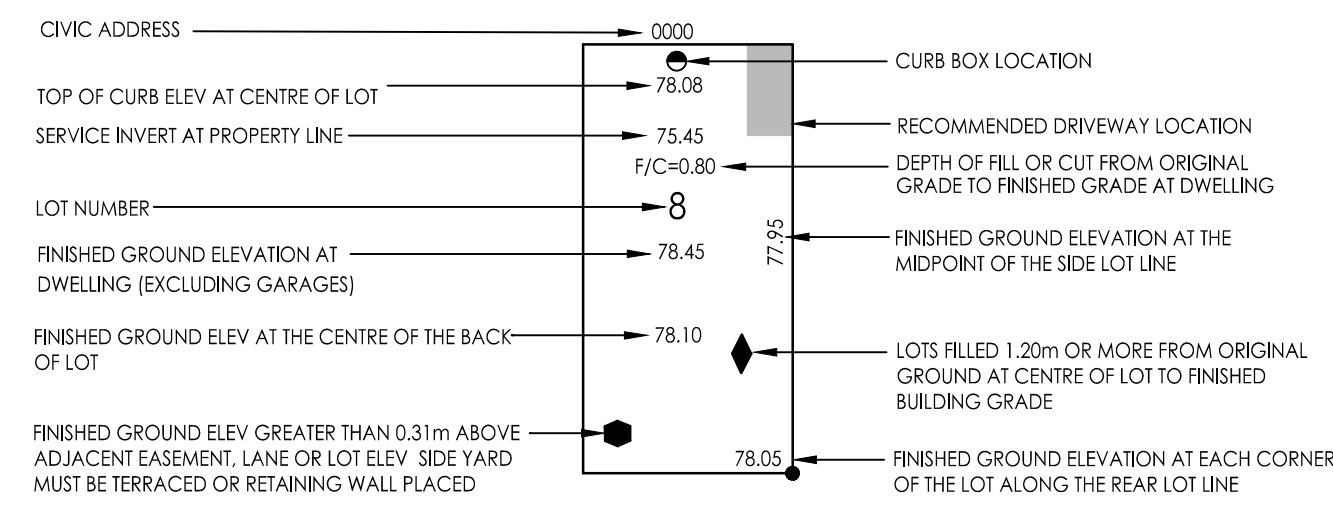
NOTE

IF BASEMENT EXCAVATION DOES NOT EXCEED THE FILL SHOWN ON THE BUILDING GRADE PLAN, THE BOTTOM OF THE EXCAVATION MUST BE TESTED TO DETERMINE THE BEARING CAPACITY. THIS TEST WILL BE DONE BY CONTACTING TERRA DEVELOPMENTS INC. 306-924-0445.

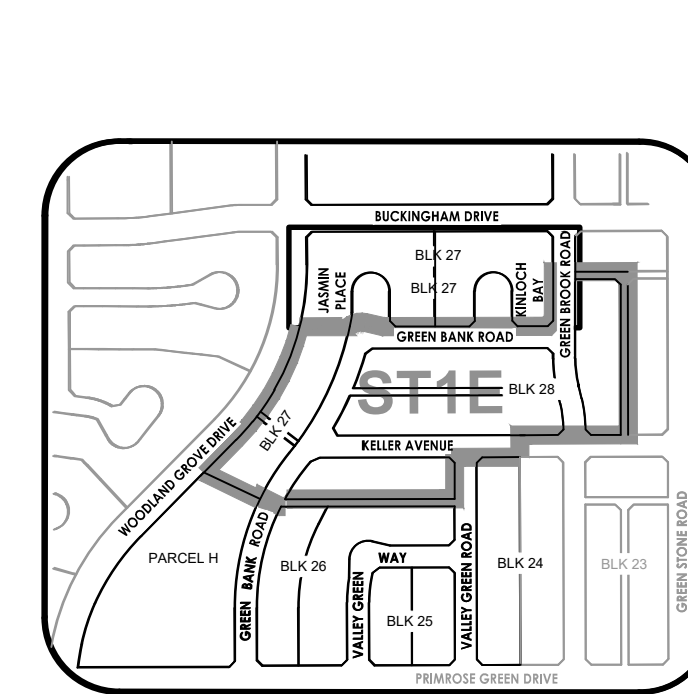
BENCH MARK

78Y1257 GEODETIC DATUM
NORTHING: 5384478.594, EASTING: 533657.461
ELEVATION: 575.823
AUGER PIPE WITH BRASS CAP, AT NORTHEAST CORNER OF SECTION 3-17-19, 0.9 KM SOUTH OF HIGHWAY 33, 3.1 M WEST OF CENTRE LINE OF SECTION ROAD, 20CM BELOW GROUND LEVEL, ESTABLISHED BY SASKATCHEWAN CENTRAL SURVEY AND MAP.

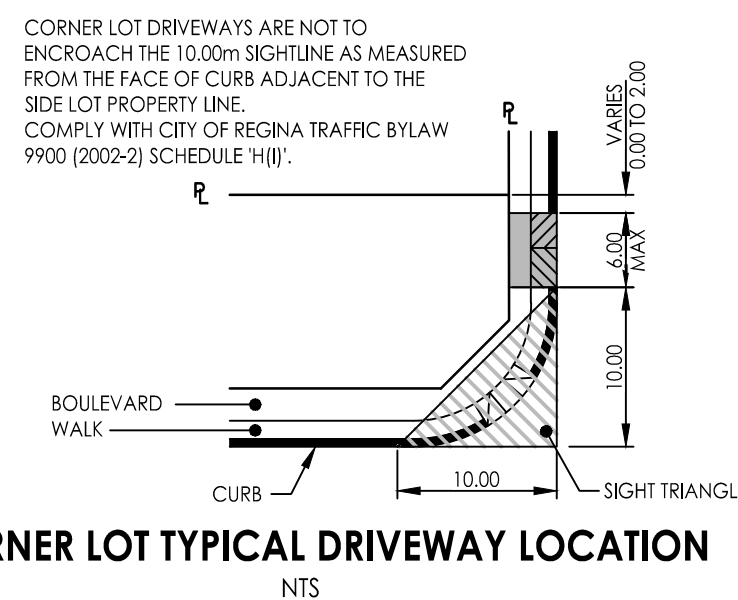
LOT LEGEND



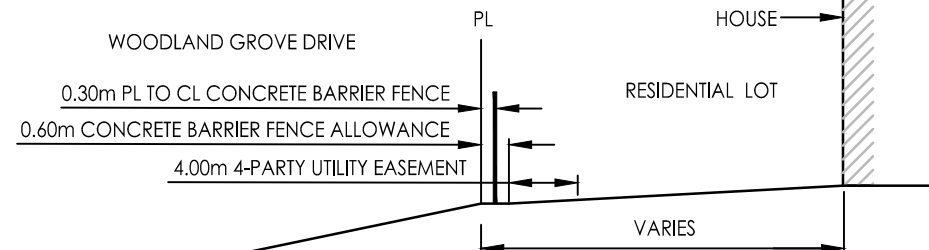
REAR YARD
LOTS 20 TO 27 BLOCK 27



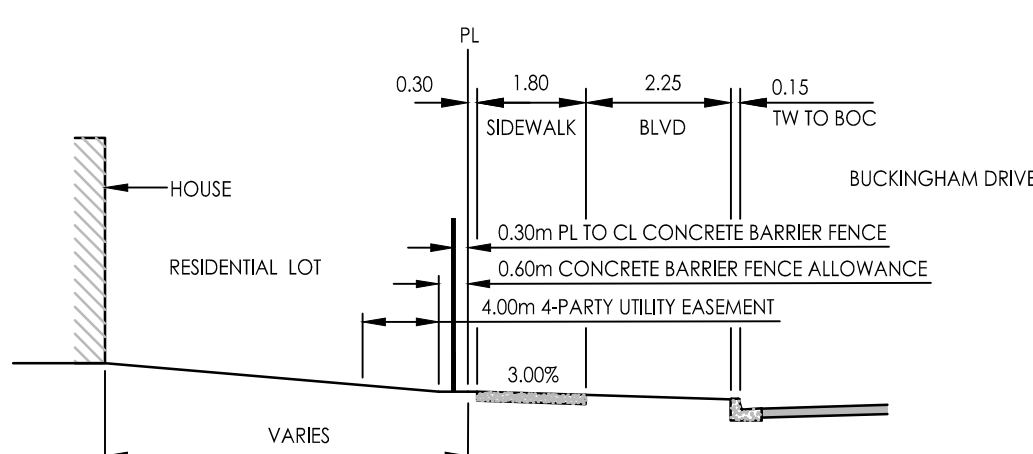
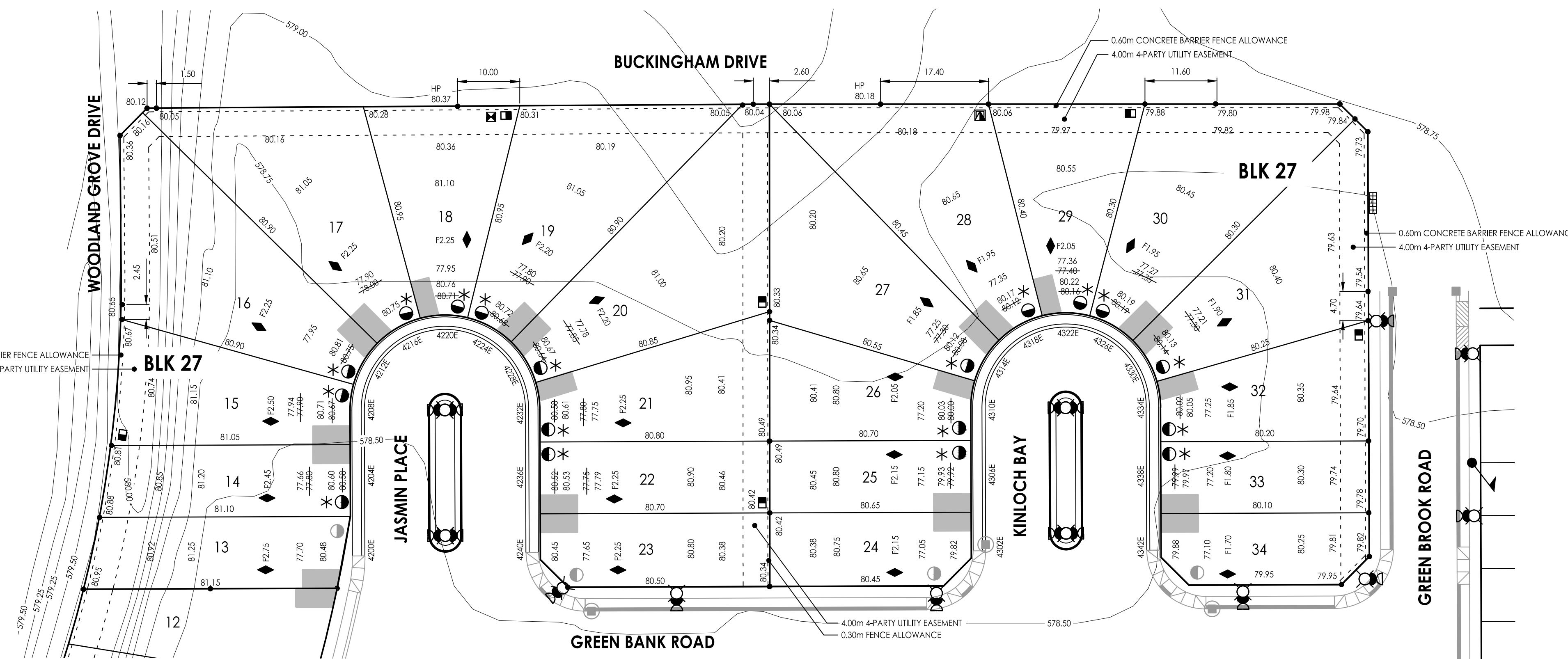
SHEET LOCATION PLAN



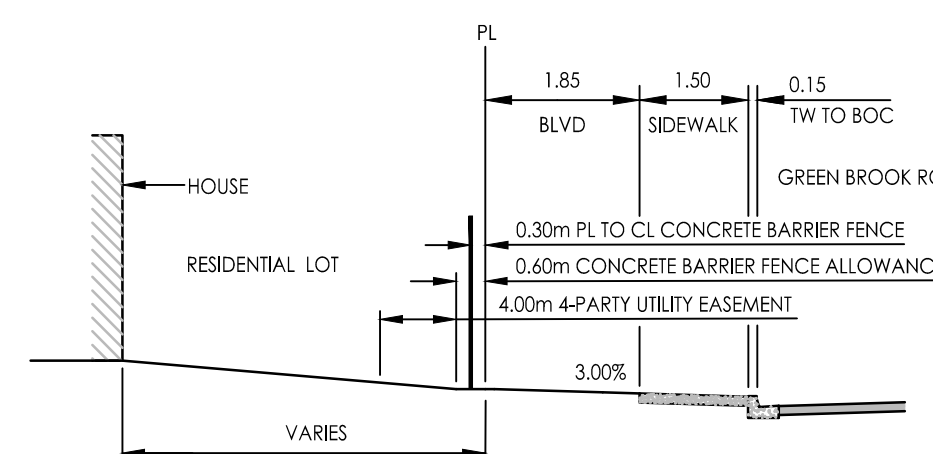
CORNER LOT TYPICAL DRIVEWAY LOCATION
NTS



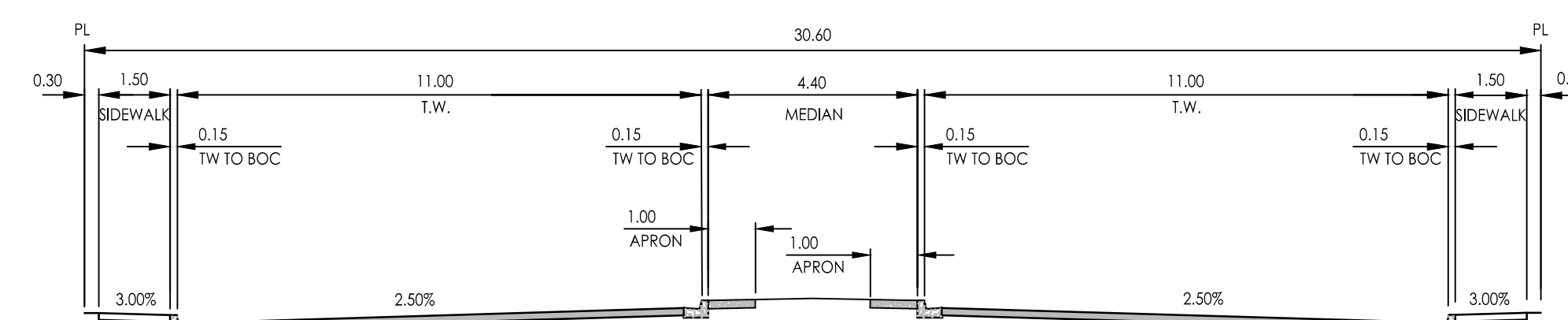
REAR YARD
BLOCK 27 LOTS 13 TO 16



REAR YARD
BLOCK 27 LOTS 17 TO 20
BLOCK 27 LOTS 28 TO 30



REAR YARD
BLOCK 27 LOTS 31 TO 34



JASMIN PLACE AND KINLOCH BAY